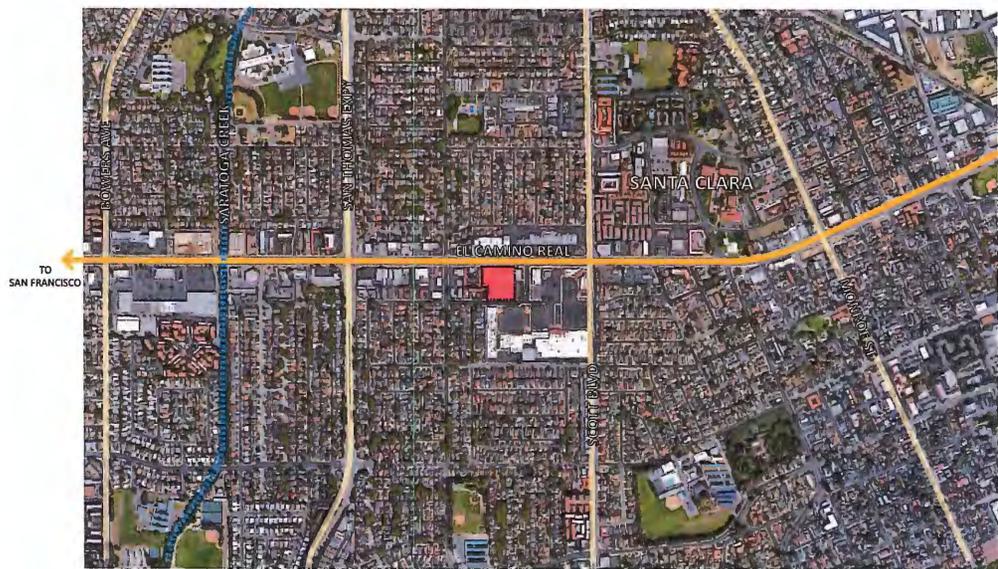




2232 - 2240 El Camino Real Mixed Use Senior Apartments, Santa Clara, CA

August 2017





VICINITY MAP

PROJECT TEAM:

APPLICANT:
 SummerHill Apartment Communities
 777 S. California Avenue
 Palo Alto, CA 94304
 Contact: Elaine Breeze
 Phone: 650.842.2404

CIVIL ENGINEER:
 HMH
 1570 Oakland Road
 San Jose, CA 95131
 Contact: Ray Hashimoto
 Phone: 408.487.2200

LANDSCAPE ARCHITECT:
 The Guzzardo Partnership
 181 Greenwich Street
 San Francisco, CA 94111
 Contact: Morgan Burke
 Phone: 415.433.4672

ARCHITECT:
 Studio T Square
 304 12th Street, Suite 2A
 Oakland, CA 94607
 Contact: Douglas Oliver
 Phone: 510.451.2850

UTILITY ENGINEER:
 RGA Design
 6400 Village Parkway, Suite 204
 Dublin, CA 94568
 Contact: Darlene Hayes
 Phone: 925.556.1725

PROJECT SUMMARY:

Mixed use senior apartment project wrapped around a multi-level parking garage
 Type V-A (1 HR) sprinklered construction (residential/commercial)
 Type I sprinklered construction (commercial/parking garage)

ASSESSORS PARCEL NUMBER 290-10-090, 290-10-091
SITE AREA 2.74 Acres
EXISTING GENERAL PLAN Regional Mixed Use
PROPOSED GENERAL PLAN Regional Mixed Use
EXISTING ZONING Community Commercial
PROPOSED ZONING PD - Planned Development
EXISTING USE Commercial
PROPOSED USE Commercial, Multi-family Residential
SURROUNDING USES Commercial, Multi-family Residential
DENSITY 55 DU/Acre

APPLICABLE CODES:

2013 CA Building Code
 2013 CA Electrical Code
 2013 CA Mechanical Code
 2013 CA Plumbing Code
 2013 CA Green Building Standards
 2013 CA Energy Efficiency Standards
 City of Santa Clara Municipal Code and Ordinances

SHEET LIST:

ARCHITECTURAL

- G1.0 General Information
- SP1.0 Existing Site Photos
- SP1.1 Contextual Site Plan
- SP1.2 Illustrative Site Plan
- SP1.3 Building Perspectives
- SP1.4 Building Perspectives
- SP1.5 Building Perspectives
- SP1.6 Building Perspectives
- SP1.7 Site Circulation
- SP1.8 Open Space Exhibit
- SP1.9 Fire Exhibit
- A2.1 Building Plan Level 1
- A2.2 Building Plan Level 2
- A2.3 Building Plan Level 3
- A2.4 Building Plan Level 4
- A2.5 Building Plan Level 5
- A3.0 Building Elevations
- A3.1 Building Elevations
- A4.0 Building Sections
- A4.1 Building Sections
- A4.2 Schematic Details
- A4.3 Schematic Details
- A5.0 Units
- A5.1 Units
- A5.2 Units
- A5.3 Units

LANDSCAPE

- L1.1 Schematic Landscape Plan
- L1.2 Enlargement Plans Entry Plaza
- L1.3 Enlargement Plan Pool Courtyard
- L1.4 Enlargement Plan Dog Run and Western Patio
- L2.1 Tree Disposition Plan
- L2.2 Tree Report
- L3.1 Water Efficiency and Planting Palette
- L4.1 Landscape Imagery

CIVIL

- C1.0 Existing Conditions
- C2.0 Site Plan
- C3.0 Conceptual Grading and Drainage plan
- C4.0 Conceptual Grading Cross Sections and Details
- C5.0 Conceptual Utility Plan
- C6.0 Conceptual Stormwater Control Plan
- C7.0 Stormwater Details
- C8.0 Stormwater Details

JOINT TRENCH

- JT1.0 Joint Trench Title Sheet
- JT2.0 Joint Trench Intent

SENIOR RESIDENTIAL	Quan.	S.F.	Unit Mix	S.F.	Parking Ratio	Parking Provided
S1 Studio	14	615	9.3%	8,610	1	14
Studio Units Total	14	615	9.3%	8,610		14
1A 1 bdrm	60	750	39.7%	45,000	1	60
1A2 1 bdrm	2	810	1.3%	1,620	1	2
1C 1 bdrm + den	15	920	9.9%	13,800	1	15
1D 1 bdrm shallow (West)	14	725	9.3%	10,150	1	14
1BR Units Total	91	775	60.3%	70,570		91
2A1 2 bdrm	3	1,050	2.0%	3,150	1.5	5
2A2 2 bdrm	13	1,075	8.6%	13,975	1.5	20
2A3 2 bdrm (larger)	6	1,145	4.0%	6,870	1.5	9
2B2 2 bdrm outside (SW corner)	3	1,165	2.0%	3,495	1.5	5
2B1 2 bdrm outside (NE corner)	2	1,285	1.3%	2,570	1.5	3
2C 2 bdrm inside corner	8	1,095	5.3%	8,760	1.5	12
2D 2 bdrm corner over retail	3	1,260	2.0%	3,780	1.5	5
2D2 2 bdrm corner over retail (Anna)	3	1,380	2.0%	4,140	1.5	5
2E 2 bdrm, one bath	2	870	1.1%	1,740	1.5	3
2G 2 bdrm (junior)	3	925	2.0%	2,775	1.5	5
2BR Units Total	46	1,114	30.5%	51,255		69
All Units - Total	151	864		130,435		174

COMMERCIAL FLOOR AREA	Commercial SF Required at .15 FAR	Commercial SF Provided
		17,909 SF
	Retail (Gross Leasable Area)	14,125 SF
	Community Meeting Hub or Retail	1,220 SF
	Retail Service	1,045 SF
	Retail Trash	919
	Restaurant Outdoor Dining	600
	Total Commercial SF Provided	17,909 SF

ACTIVE COMMUNITY AREA	Leasing/Lobbies/Community Amenities	Plazas	Residential Courtyard	Total Active Community
	5,775 SF	9,485 SF	10,010 SF	19,280 SF

PARKING	Residential Parking	Guest/Future Resident Parking/Resident Loading (Garage & Surface)	Commercial (15 cars / 2000's Retail Trucks and excluded from parking count)	Total Parking
	174	17	86	277

Building Area	Garage	Total Building Area*
First Level	25,791	49,653
Second Level	20,856	51,417
Third Level	20,856	51,417
Fourth Level	20,856	47,362
Fifth Level	18,351	
Total	106,710	199,849
Percentage of Building Coverage		43%

*Total building area excludes the garage and includes retail, retail services, balconies, storage area on balconies, and all shafts.



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 Mixed Use Senior Apartments
 Santa Clara, CA
 SummerHill Apartment Communities
 777 S. California Avenue
 Palo Alto, CA

Sheet Title:
 GENERAL INFORMATION

Job No. 14033
 Date: 08/28/2017
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G1.0



1. View East on El Camino Real



2. View Site Across El Camino Real



3. View from Site to Northeast on El Camino Real



8. View looking North on Anna Dr.



Site-plan views



4. View South West on El Camino Real



7. View from Santa Clara Town Centre to Site



6. View looking North-West on Anna Dr.



5. View from Site to Santa Clara Town Centre across Anna Dr.



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Sheet Title:
**EXISTING
SITE PHOTOS**

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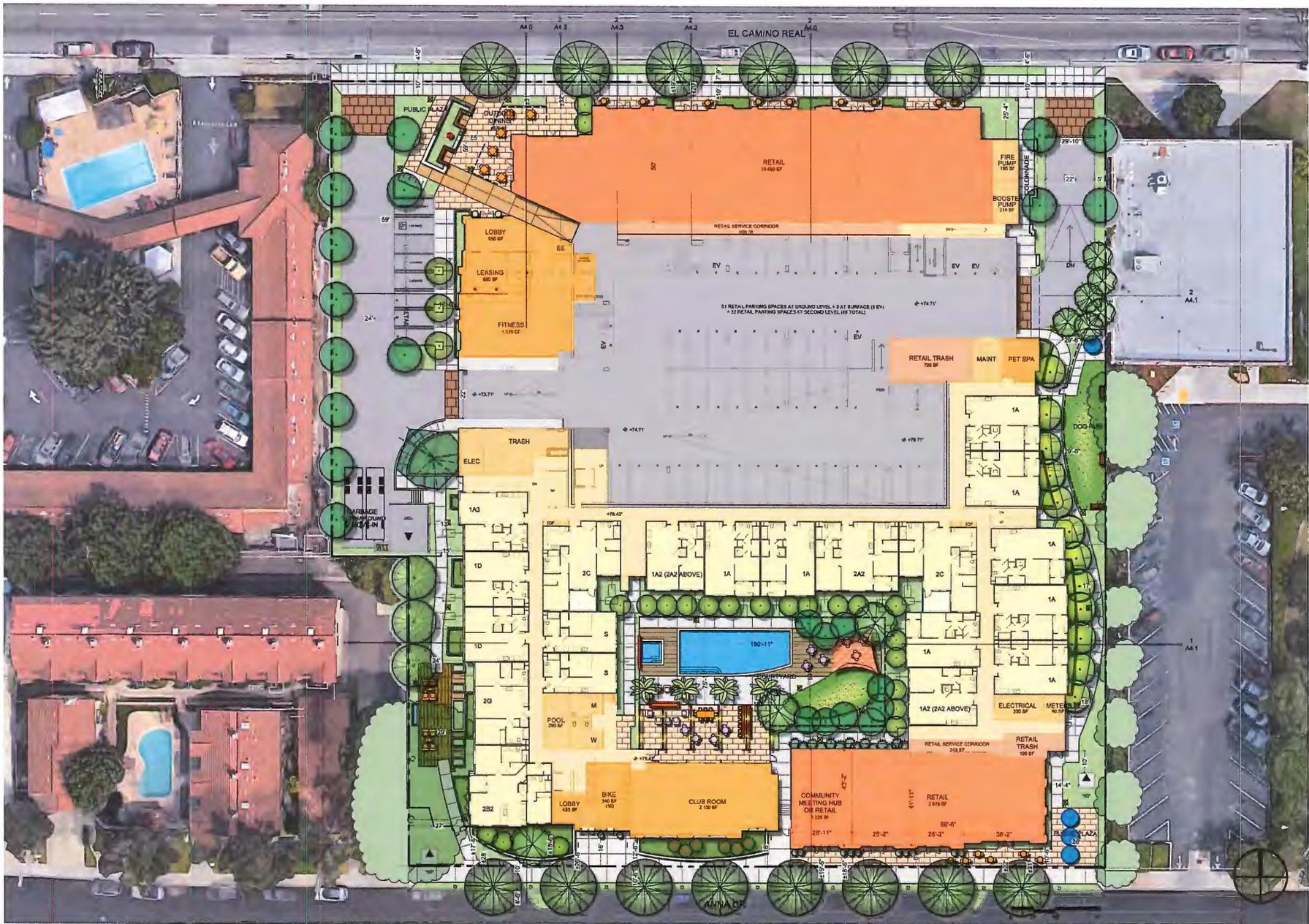
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**CONTEXTUAL
 SITE PLAN**

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Sheet Title:
**ILLUSTRATIVE
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LOOKING SOUTH EAST FROM EL CAMINO REAL

1



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LOOKING NORTH WEST FROM ANNA DRIVE

1



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LOOKING SOUTH WEST FROM EL CAMINO REAL

1

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LOOKING NORTH EAST FROM ANNA DRIVE

1

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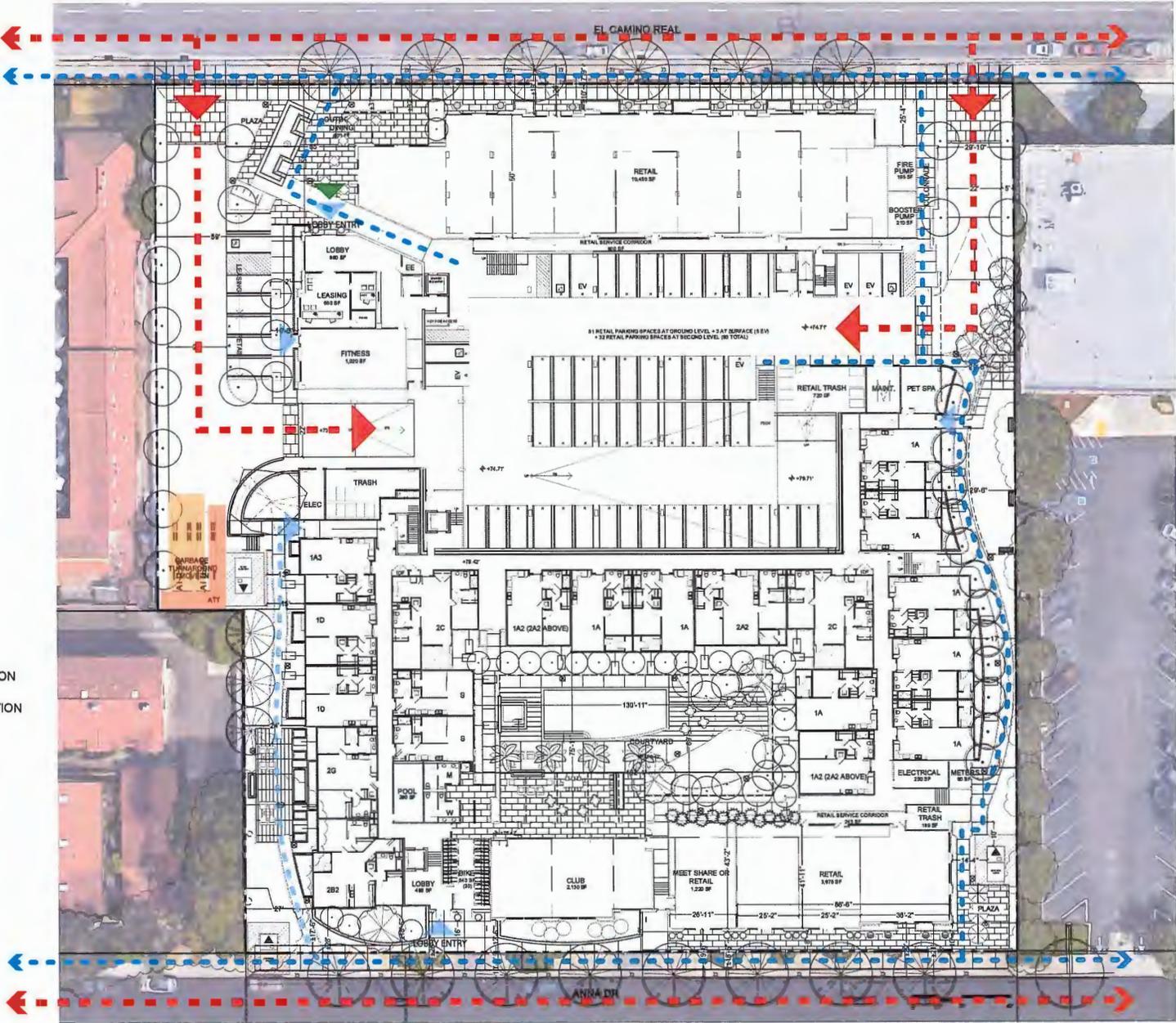
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SITE CIRCULATION

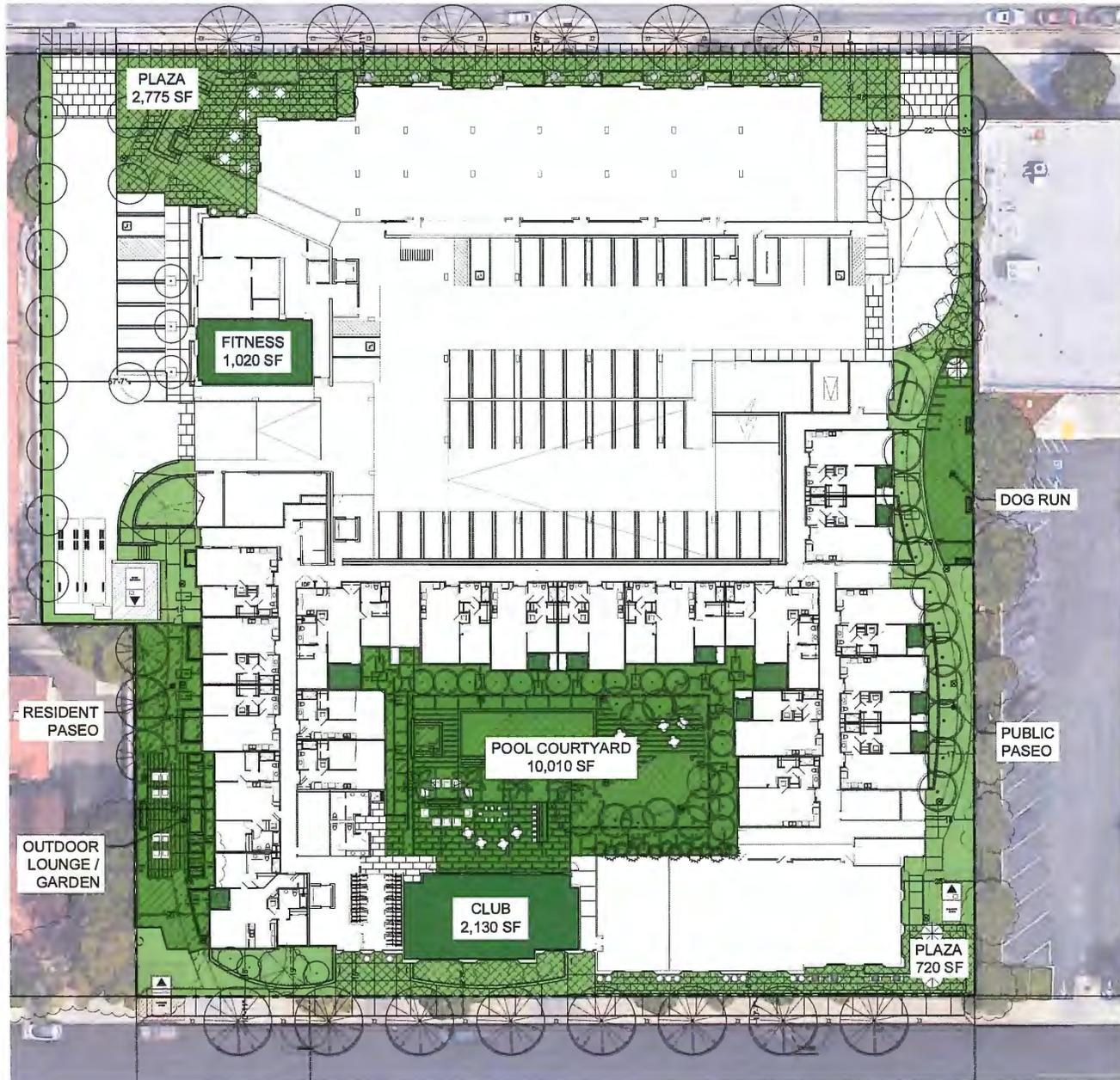
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SITE CIRCULATION

- PUBLIC PEDESTRIAN CIRCULATION
- PRIVATE PEDESTRIAN CIRCULATION
- VEHICULAR CIRCULATION
- TRASH STAGING AREA
- MOVE IN / LOADING
- RESIDENTIAL ACCESS
- VISITOR ACCESS
- VEHICULAR ACCESS
- GATE TO RESIDENT PARKING





COMMON RECREATION SPACE

EXTERIOR PUBLIC	9,996 SF	8.4% OF SITE
EXTERIOR PRIVATE	14,564 SF	12.2% OF SITE
INTERIOR PRIVATE	3,150 SF	2.6% OF SITE
SUBTOTAL	27,710 SF	23.2% OF SITE

COMMON OPEN SPACE

PUBLIC	8,412 SF	7.0% OF SITE
--------	----------	--------------

PRIVATE OPEN SPACE

PRIVATE PATIOS/DECKS/ BALCONIES (4 LEVELS)	9,284 SF	7.8% OF SITE
-----------------------------------------------	----------	--------------

TOTAL RECREATION AND OPEN SPACE

	45,406 SF	38.0% OF SITE
--	-----------	---------------



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Sheet Title:
Open Space
Exhibit

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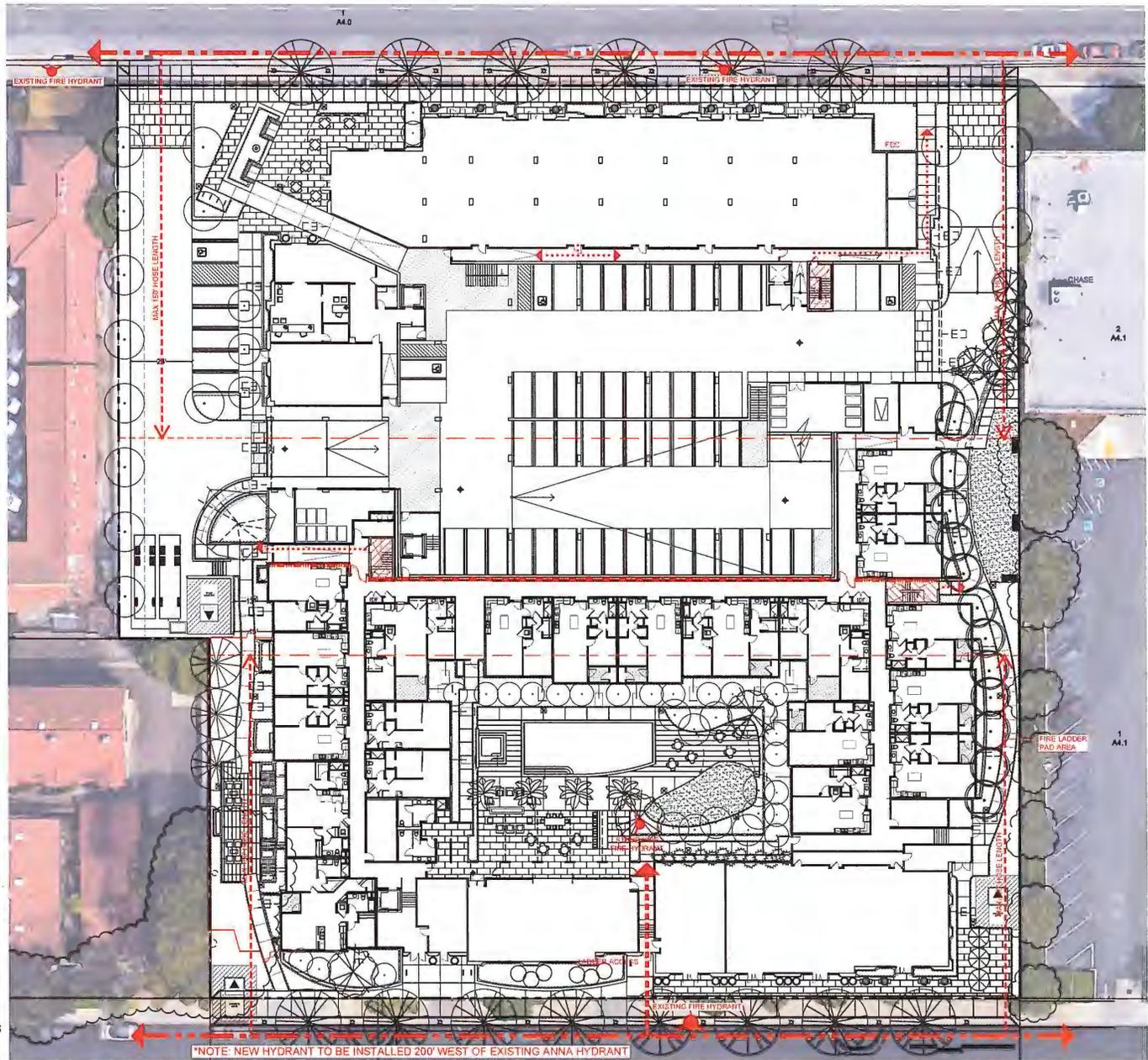
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Sheet Title:
FIRE
EXHIBIT

Job No. 14033
Date: 08/28/2017
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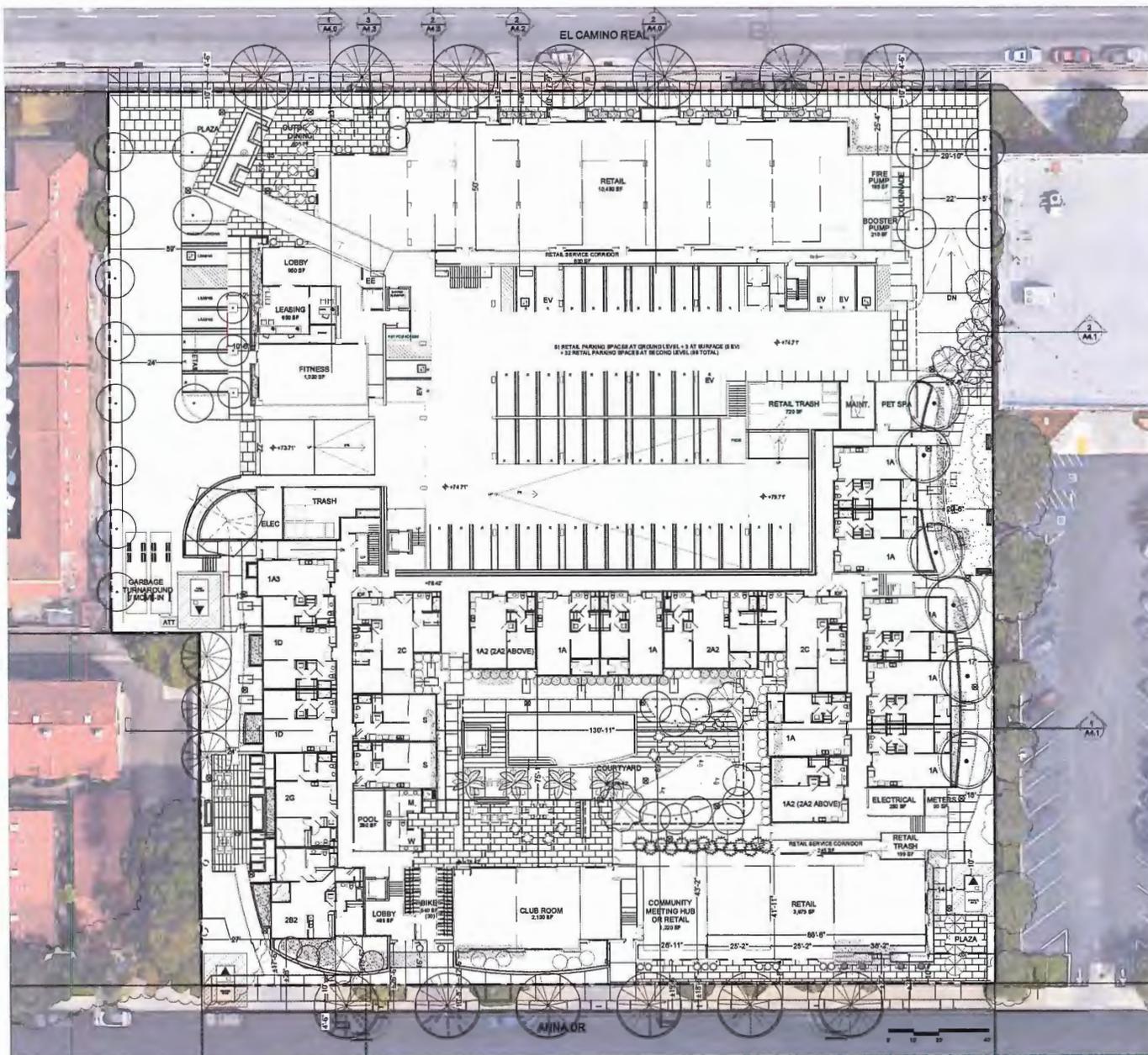
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NOTE:

- FIRE TRUCK CIRCULATION
- MAX FIRE HOSE LENGTH
- EGRESS PATH FROM STAIRS
- FIRE WALL (3 HRS)

*NOTE: NEW HYDRANT TO BE INSTALLED 200' WEST OF EXISTING ANNA HYDRANT



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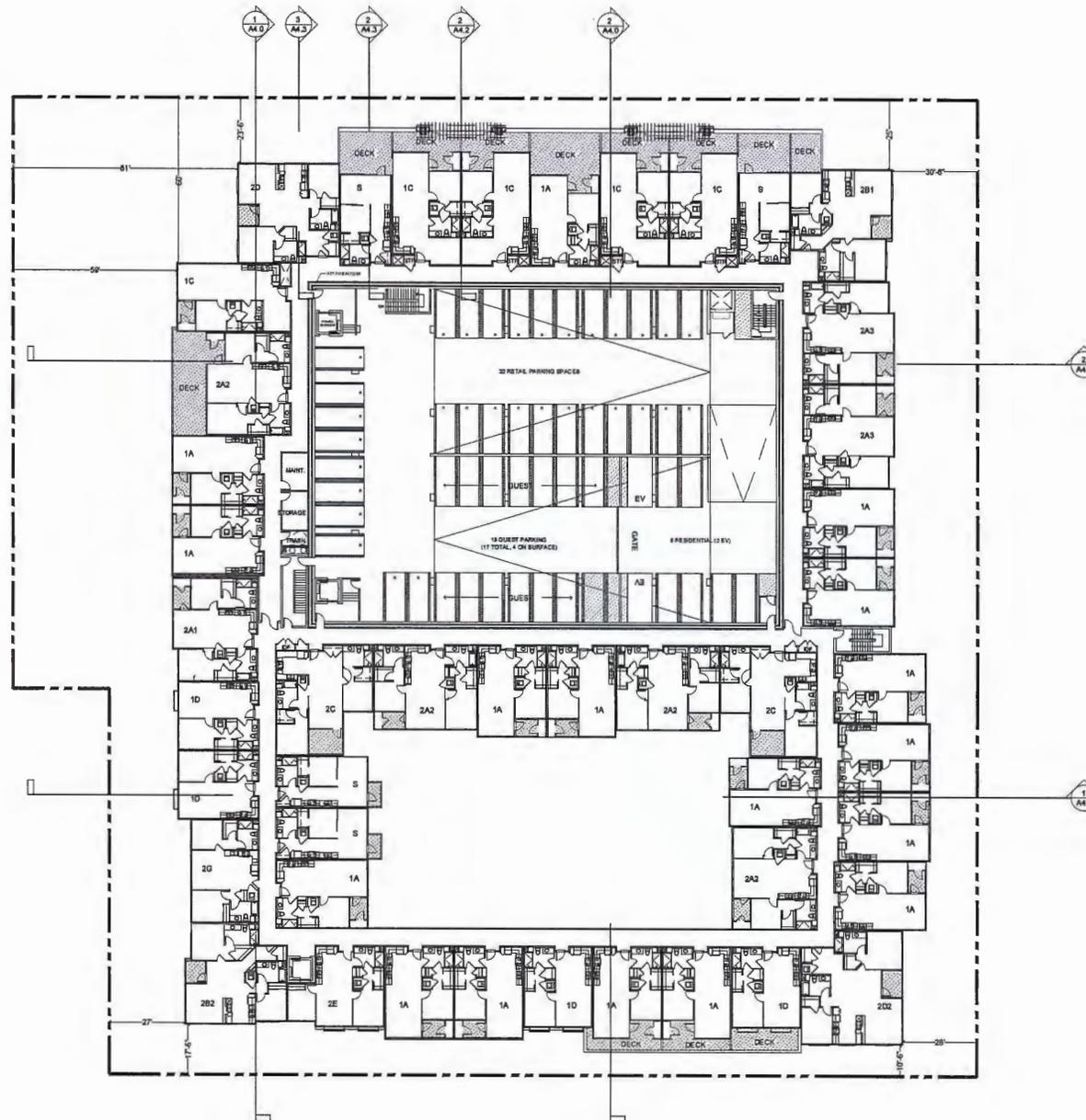
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Sheet Title:
**BUILDING PLAN
LEVEL 1**

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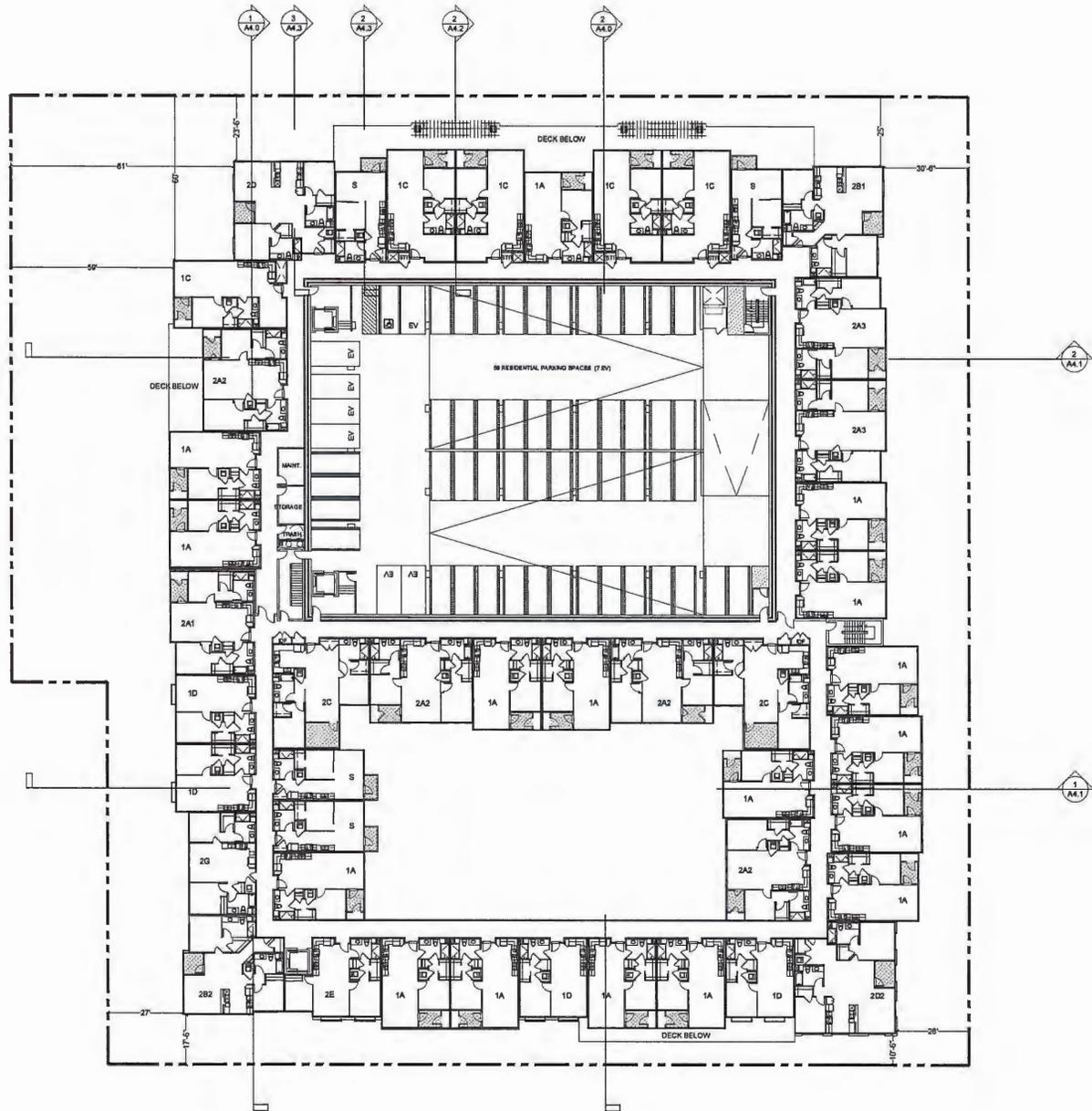
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**BUILDING PLAN
LEVEL 2**

Job No. 14033
Date: 08/28/2017
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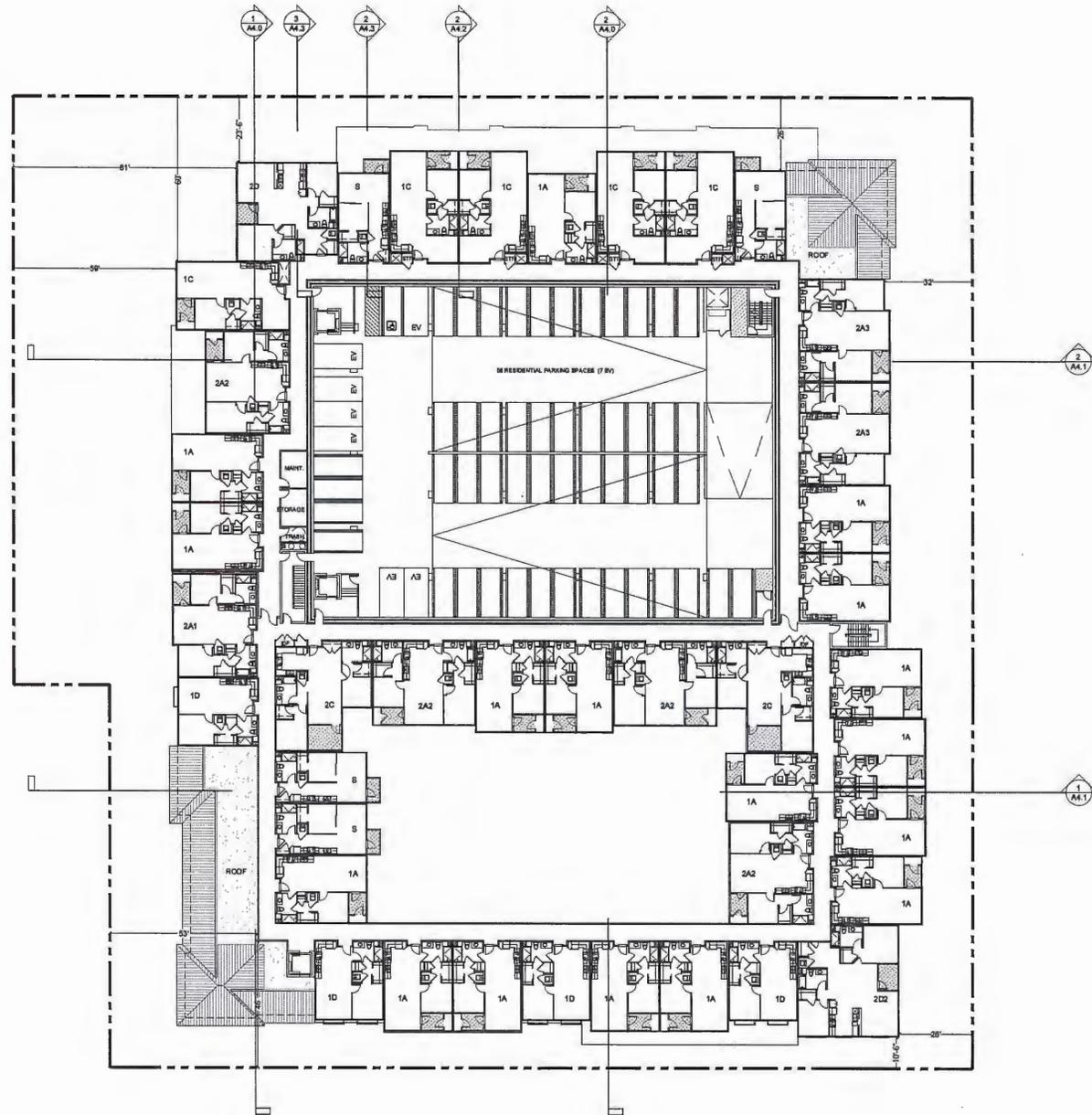
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Sheet Title:
**BUILDING PLAN
LEVEL 3**

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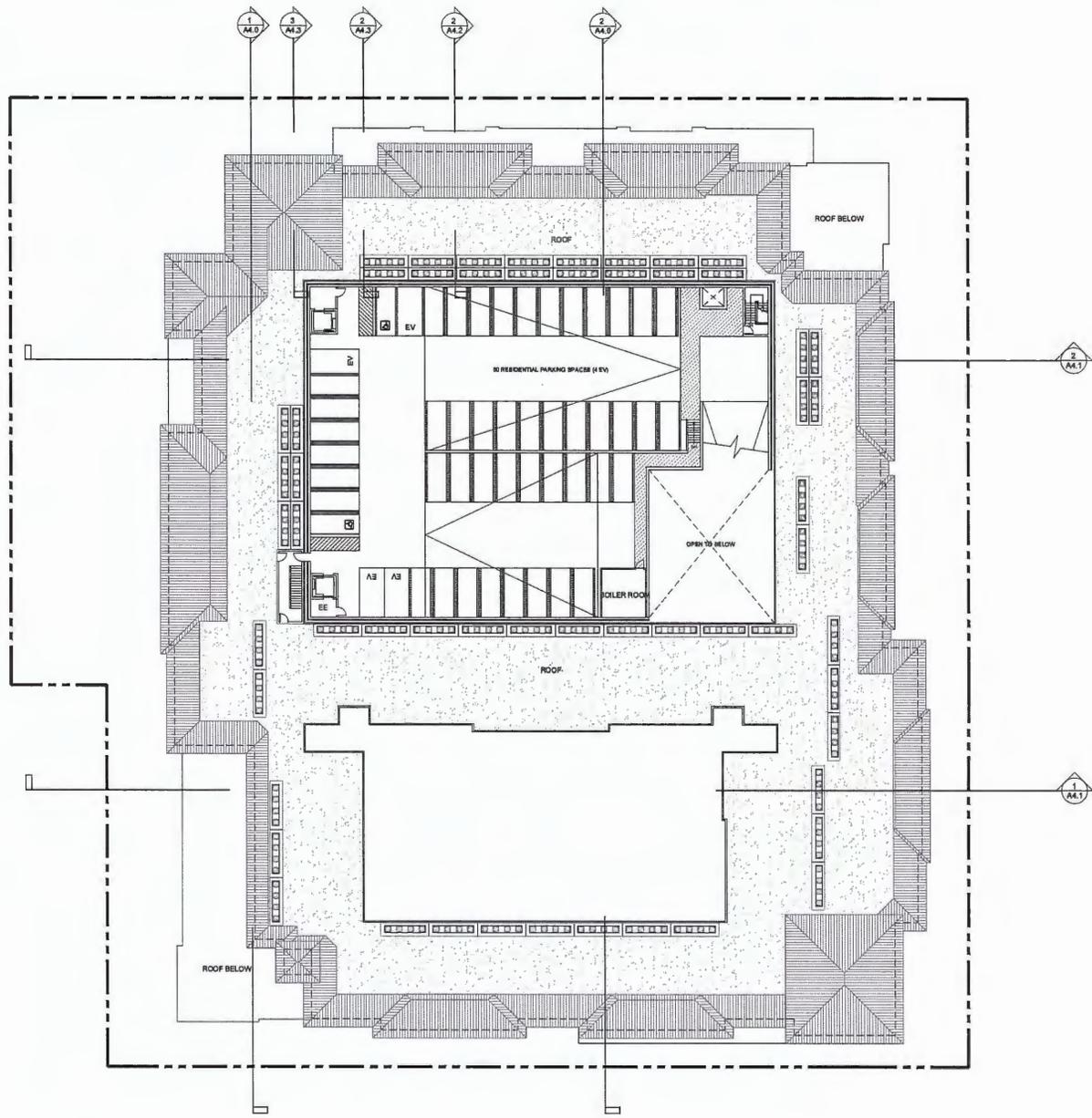
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Sheet Title:
**BUILDING PLAN
LEVEL 4**

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Sheet Title:
**BUILDING PLAN
LEVEL 5**

Job No. 14033
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Sheet No:
A2.5





North - El Camino Real Elevation

SCALE: 1/16" = 1' - 0"

1



West Elevation

SCALE: 1/16" = 1' - 0"

2

①	CONCRETE "S" TILE - EAGLE SAN MATEO BLEND
②	WINDOW - VINYL, ESPRESSO, 2" RECESS TYPICAL
③	WINDOW - VINYL, ESPRESSO, WITH VERTICAL MULLION
④	STUCCO - SAND FINISH, SW 7012 (CREAMY)
⑤	STUCCO - SAND FINISH, SW 7038 (ACCESSIBLE BEIGE)
⑥	STUCCO - SAND FINISH, SW 7037 (BALANCED BEIGE)
⑦	STUCCO - SMOOTH TROWELED FINISH, ESPRESSO
⑧	STOREFRONT SYSTEM - ESPRESSO
⑨	GUARDRAIL - METAL, ESPRESSO
⑩	TRELLIS / AWNING - METAL, ESPRESSO
⑪	SOFFIT WITH RAFTER TAIL AND TRIM
⑫	ROUND GUTTER AND DOWN SPOUT
⑬	PORCELAIN 'LIMESTONE' TILE
⑭	SMOOTH FOAM TRIM



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2232 - 2240 El Camino Real
Mixed Use Senior Apartments
Santa Clara, CA

SummerHill Apartment Communities
777 S. California Avenue
Palo Alto, CA

Sheet Title:
BUILDING
ELEVATIONS

Job No: 14033
Date: 09/28/2017
Scale: 1" = 20' - 0"
Drawn By:

Sheet No:

A3.0



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South - Anna Dr Elevation

SCALE: 1/16" = 1' - 0"

1



East Elevation

SCALE: 1/16" = 1' - 0"

2

1	CONCRETE "S" TILE - EAGLE SAN MATEO BLEND
2	WINDOW - VINYL, ESPRESSO, 2" RECESS TYPICAL
3	WINDOW - VINYL, ESPRESSO, WITH VERTICAL MULLION
4	STUCCO - SAND FINISH, SW 7012 (CREAMY)
5	STUCCO - SAND FINISH, SW 7036 (ACCESSIBLE BEIGE)
6	STUCCO - SAND FINISH, SW 7037 (BALANCED BEIGE)
7	STUCCO - SMOOTH TROWELED FINISH, ESPRESSO
8	STOREFRONT SYSTEM - ESPRESSO
9	GUARDRAIL - METAL, ESPRESSO
10	TRELLIS / AWNING - METAL, ESPRESSO
11	SOFFIT WITH RAFTER TAIL AND TRIM
12	ROUND GUTTER AND DOWN SPOUT
13	PORCELAIN 'LIMESTONE' TILE
14	SMOOTH FOAM TRIM

2232 - 2240 El Camino Real
Mixed Use Senior Apartments

San Jose, CA

SummerHill Apartment Communities

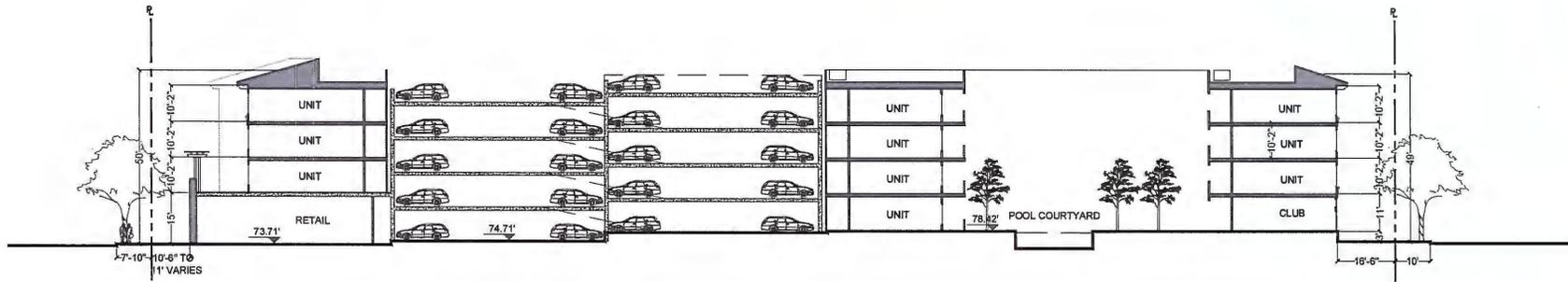
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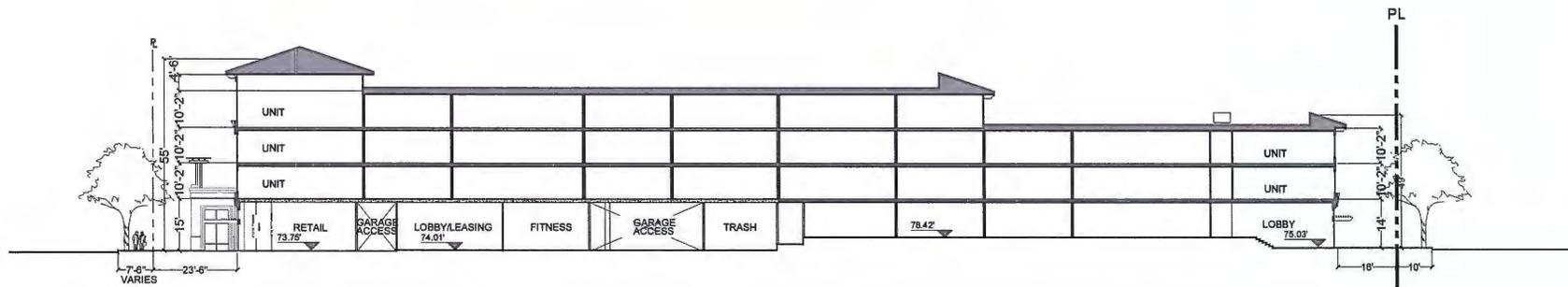
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NORTH TO SOUTH SECTION

1/16" = 1' - 0"

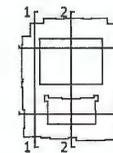
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NORTH TO SOUTH SECTION

1/16" = 1' - 0"

1



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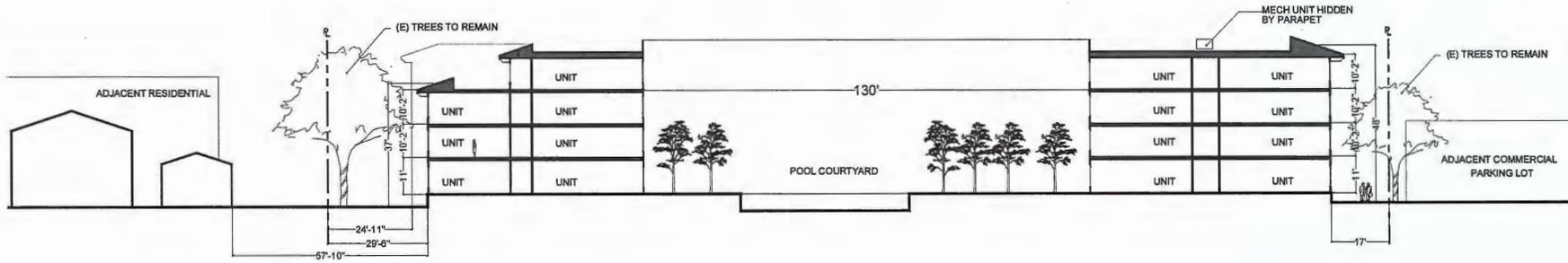
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BUILDING SECTIONS

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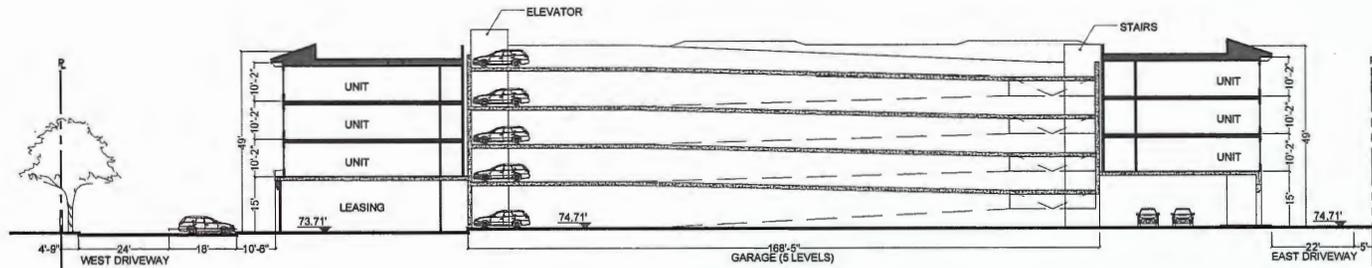
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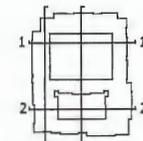
COURTYARD SECTION 2

1/16" = 1' - 0"



WEST TO EAST SECTION 1

1/16" = 1' - 0"



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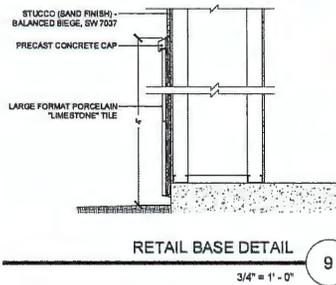
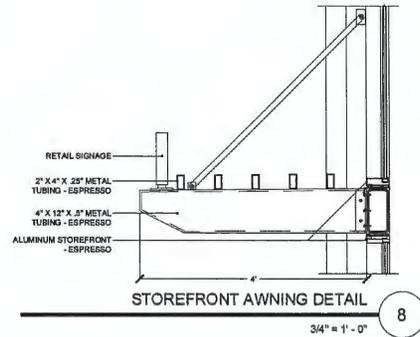
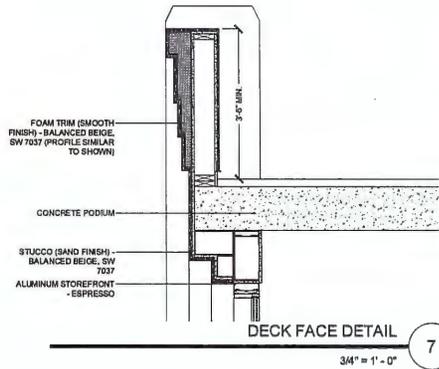
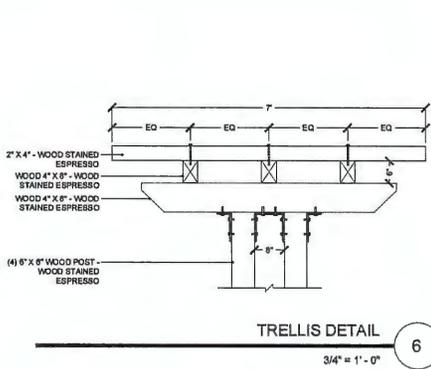
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Job No. 14033
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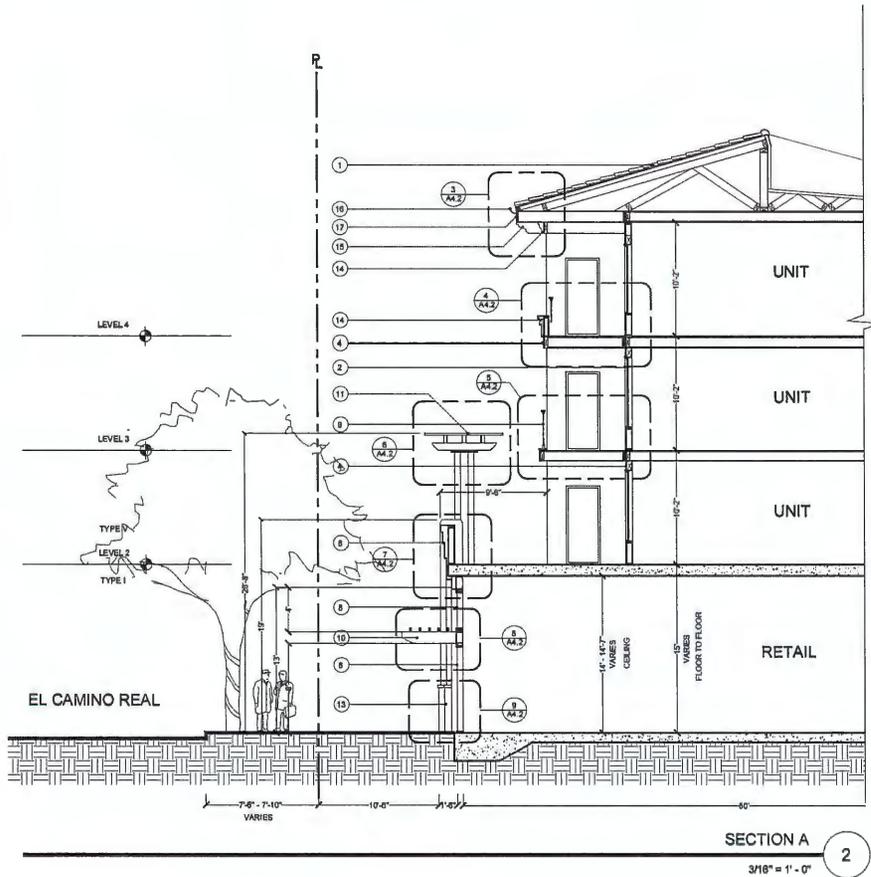
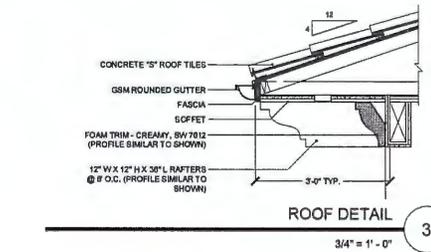
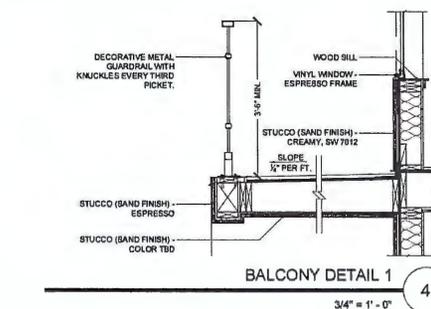
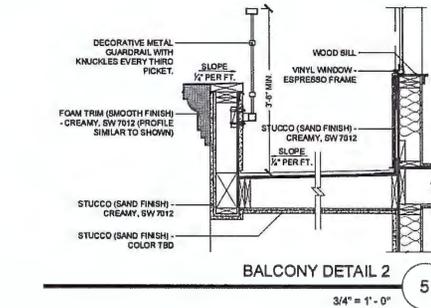
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A4.1



KEYNOTES

- 1 CONCRETE 15\"/>
- 2 VINYL WINDOW - ESPRESSO
- 3 STUCCO (SAND FINISH) - CREAMY, SW 7012
- 4 STUCCO (SAND FINISH) - CREAMY, SW 7037
- 5 STUCCO (SAND FINISH) - BALANCED BEIGE, SW 7037
- 6 ALUMINUM STOREFRONT - ESPRESSO
- 7 METAL GUARDRAIL - ESPRESSO
- 8 METAL AWNINGS - ESPRESSO
- 9 WOOD TRELLIS - STAINED TO MATCH WINDOW FRAMES
- 10 PORCELAIN "LIMESTONE" TILE - LARGE FORMAT
- 11 FOAM TRIM (SMOOTH FINISH)
- 12 RAFTER TAIL
- 13 METAL GUTTERS
- 14 WOOD FASCIA



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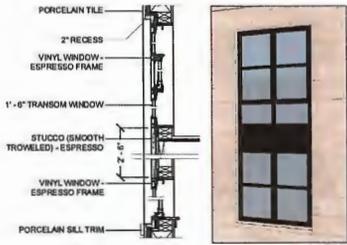
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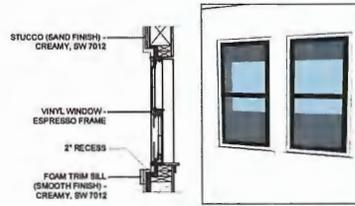
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**SCHEMATIC
 DETAILS**

Job No. 14033
 Date: 08/28/2017
 Scale: AS NOTED
 Drawn By:

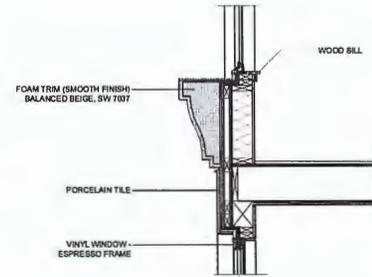
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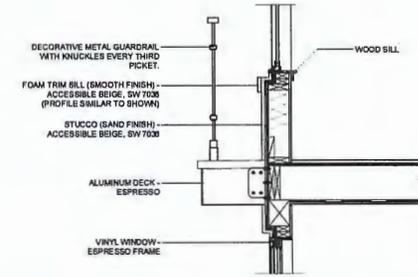
WINDOW DETAIL 7
3/4" = 1'-0"



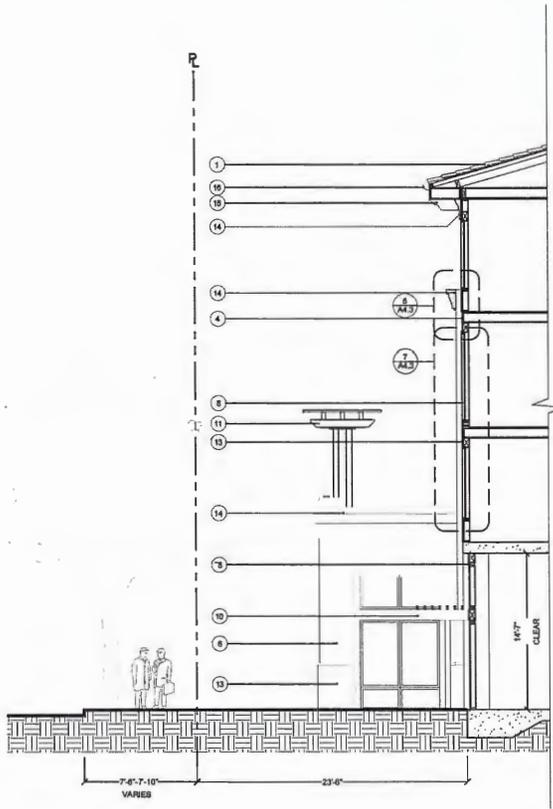
TYPICAL 2" RECESSED WINDOW DETAIL 6
3/4" = 1'-0"



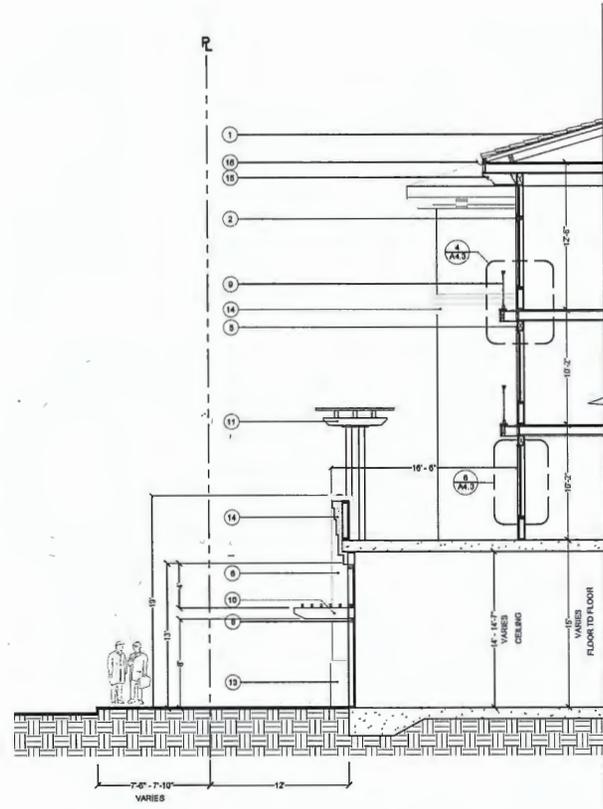
TRIM DETAIL 5
3/4" = 1'-0"



JULIET BALCONY DETAIL 4
3/4" = 1'-0"



SECTION B 3
3/16" = 1'-0"



SECTION A 2
3/16" = 1'-0"

- KEYNOTES**
- 1 CONCRETE "S" TILE ROOF
 - 2 VINYL WINDOW - ESPRESSO
 - 3 STUCCO (SAND FINISH) - CREAMY, SW 7012
 - 4 STUCCO (SAND FINISH) - ACCESSIBLE BEIGE, SW 7037
 - 5 STUCCO (SAND FINISH) - BALANCED BEIGE, SW 7037
 - 6 ALUMINUM STOREFRONT - ESPRESSO
 - 7 METAL GUARDRAIL - ESPRESSO
 - 8 METAL AWINGS - ESPRESSO
 - 9 WOOD TRELLIS - STAINED TO MATCH WINDOW FRAMES
 - 10 PORCELAIN "LIMESTONE" TILE - LARGE FORMAT
 - 11 FOAM TRIM (SMOOTH FINISH)
 - 12 RAFTER TAIL
 - 13 METAL GUTTERS
 - 14 WOOD FASCIA



RETAIL CORNER AT EL CAMINO REAL 1
N.T.S.



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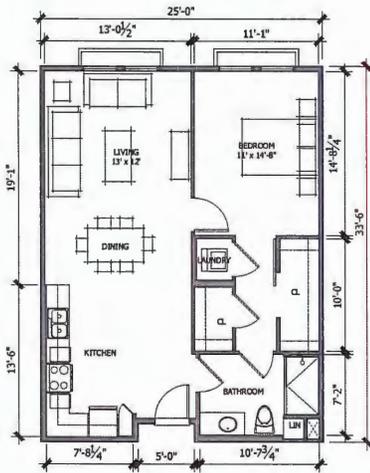
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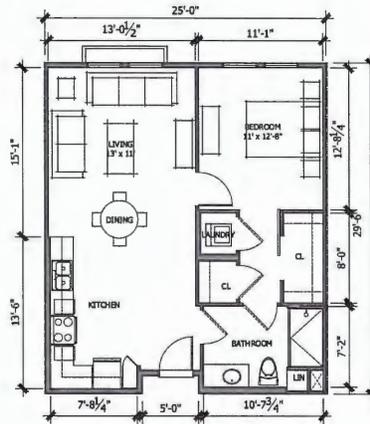
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UNIT 1E - 1BR + 1BA (825 SF)

SCALE: 3/16" = 1' - 0"

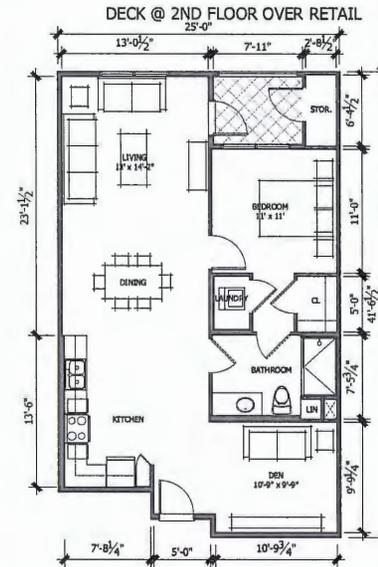
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UNIT 1D - 1BR + 1BA (725 SF)

SCALE: 3/16" = 1' - 0"

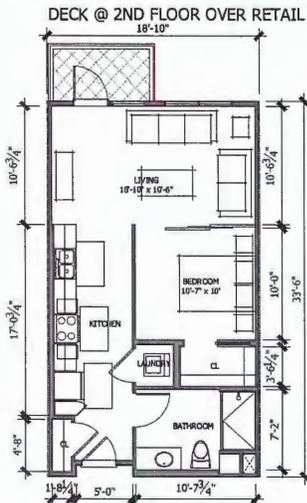
5



UNIT 1C - 1BR + 1BA (920 SF)

SCALE: 3/16" = 1' - 0"

4



UNIT 1B - 1BR + DEN + 1BA (615 SF)

SCALE: 3/16" = 1' - 0"

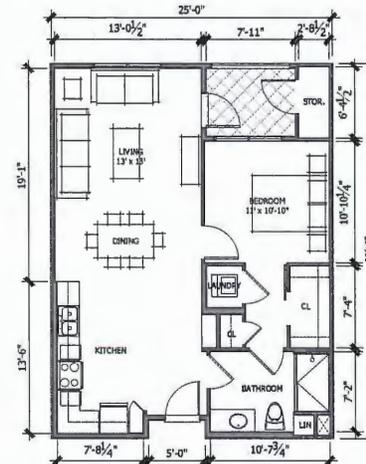
3



UNIT 1A2 - 1BR + 1BA (810 SF)

SCALE: 3/16" = 1' - 0"

2



UNIT 1A - 1BR + 1BA (750 SF)

SCALE: 3/16" = 1' - 0"

1

NOTE: SEE BUILDING ELEVATIONS FOR EXACT WINDOW SIZING AND PLACEMENT



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Sheet Title:
UNITS

Job No. 14033
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Scale: 3/16" = 1' - 0"
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Sheet No.

A5.0

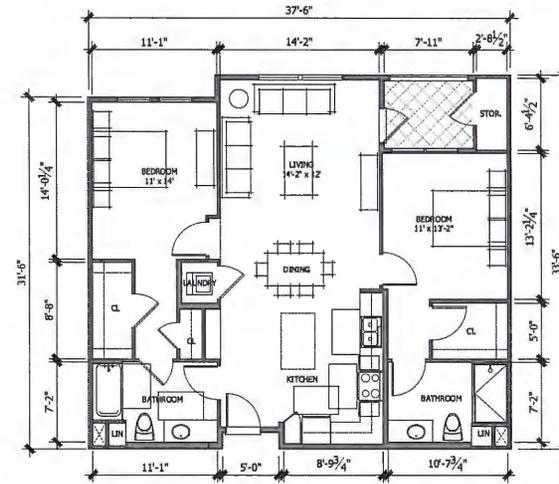


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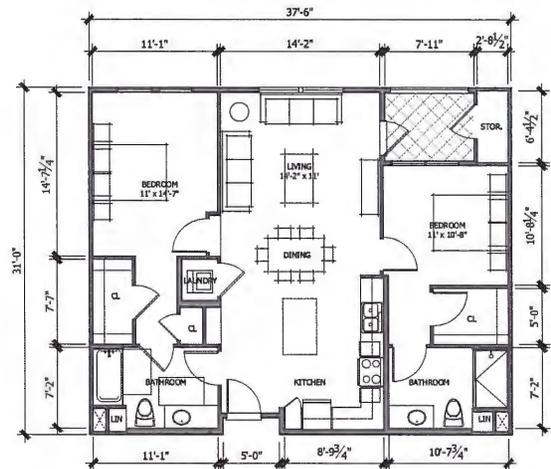
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UNIT 2A3 - 2BR + 2BA (1145 SF)

SCALE: 3/16" = 1' - 0"

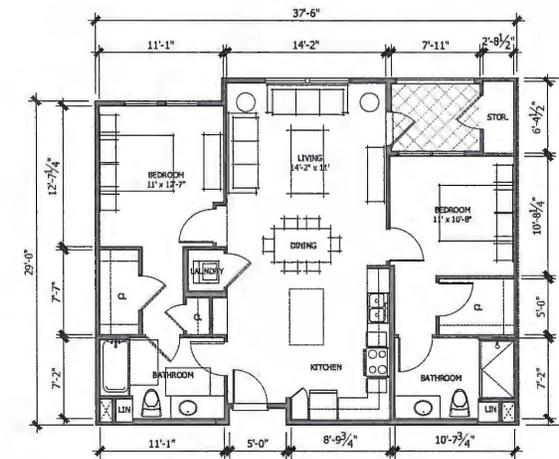
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UNIT 2A2 - 2BR + 2BA (1075 SF)

SCALE: 3/16" = 1' - 0"

2



UNIT 2A - 2BR + 2BA (1050 SF)

SCALE: 3/16" = 1' - 0"

1

NOTE: SEE BUILDING ELEVATIONS FOR EXACT WINDOW SIZING AND PLACEMENT

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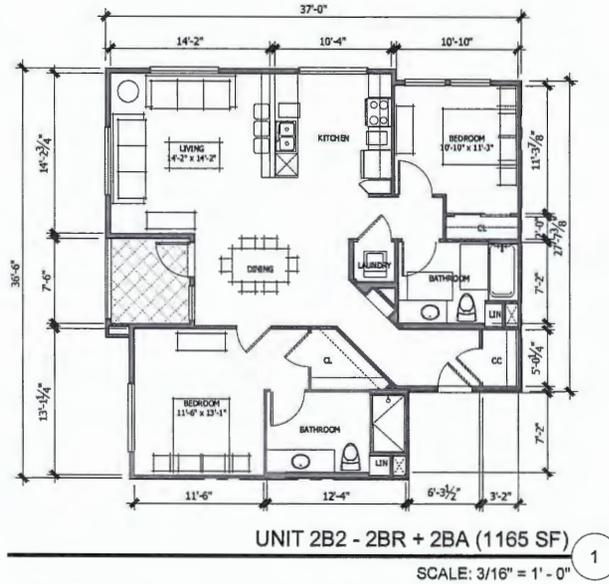
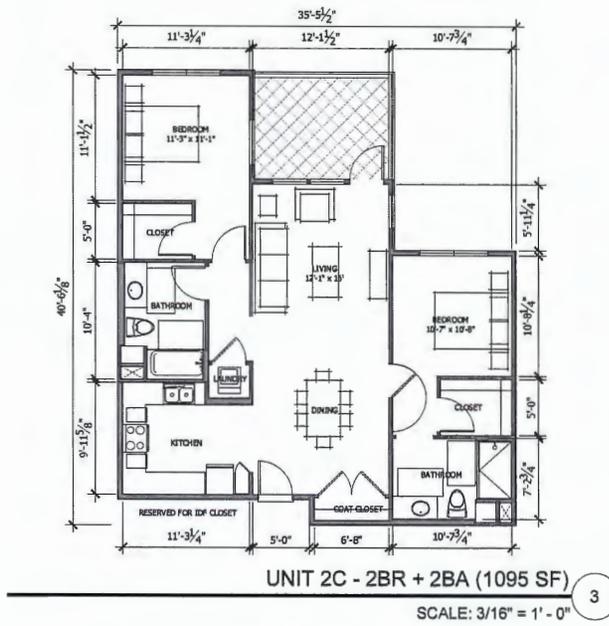
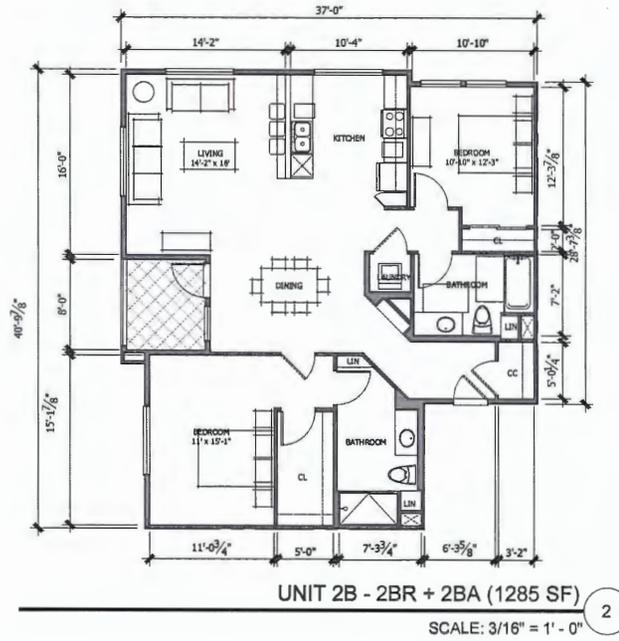


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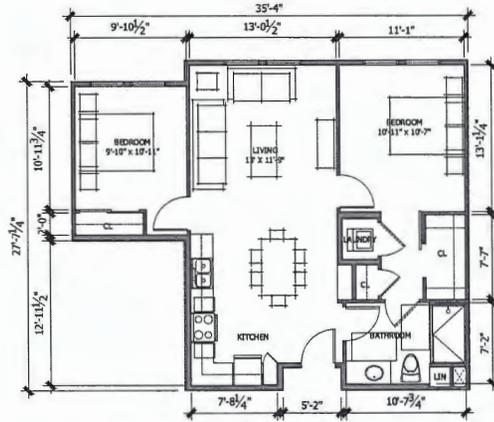


NOTE: SEE BUILDING ELEVATIONS FOR EXACT WINDOW SIZING AND PLACEMENT

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Sheet Title:
UNITS
Job No. 14033
Date: 08/28/2017
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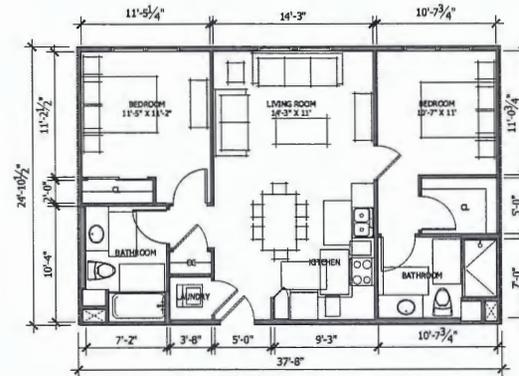
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A5.2



UNIT 2G - 2BR + 2BA (870 SF)

SCALE: 3/16" = 1' - 0"

4



UNIT 2E - 2BR + 2BA (925 SF)

SCALE: 3/16" = 1' - 0"

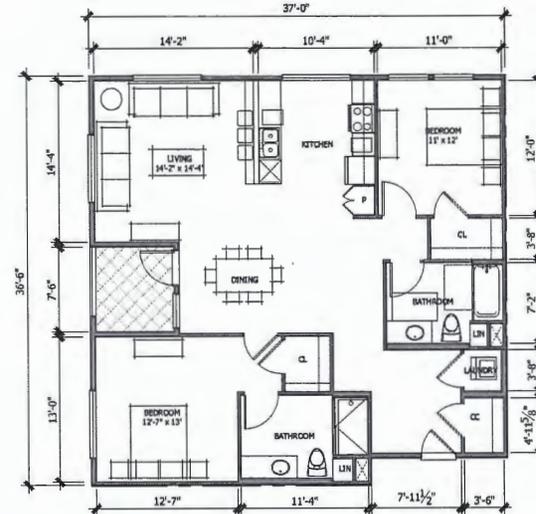
3



UNIT 2D2 - 2BR + 2BA (1385 SF)

SCALE: 3/16" = 1' - 0"

2



UNIT 2D - 2BR + 2BA (1260 SF)

SCALE: 3/16" = 1' - 0"

2

NOTE: SEE BUILDING ELEVATIONS FOR EXACT WINDOW SIZING AND PLACEMENT



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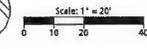
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A5.3



LEGEND:

- ① 4' wide, continuous planter strip along the back of curb. Planter strip to have 5' wide concrete walk through areas for access from on street parking. London Plane Tree street trees to be planted in the strip.
- ② 10' wide, scored City Standard sidewalk
- ③ Bistro style seating at commercial entry areas
- ④ Vehicular accent paving at driveway entrances
- ⑤ Perimeter shrub planting with Catalina Ironwood tree planting
- ⑥ Pedestrian Ramp and Stair access to building and utility rooms. Large scale specimen Valley Oak tree planting in central planter
- ⑦ Ornamental Site Fence with Pedestrian Gate Access
- ⑧ New site wall to replace existing site wall. Perimeter shrub and Brisbane Box tree planting
- ⑨ Pedestrian concrete sidewalks around site with pedestrian scale pole lights.
- ⑩ Bike Parking - 8 spots each on El Camino Real and Anna Dr.
- ⑪ Existing Ash trees to remain
- ⑫ Traffic calming bump out with planting.
- ⑬ Wayfinding signage for public access along east side of the property
- ⑭ Seat wall height raised planter with accent planting and small scale flowering trees
- ⑮ Tree lined public sidewalk with pedestrian scale pole lights
- ⑯ 42" high metal picket fence along property line
- ⑰ Colorful planter pots at lobby/leasing entrances
- ⑱ Existing off site Magnolias to remain



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 Landscape Architects • Land Planners

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 SummerHill Apartment Communities
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Sheet Title:
Schematic Landscape Plan
 Job No. 14033
 Date: 08/28/2017
 Scale:
 Drawn by:

Sheet No:
L-1.1



LEGEND:

- ① 4' wide, continuous planter strip along the back of curb. Planter strip to have 5' wide concrete walk through areas for access from on street parking. London Plane Tree street trees to be planted in the strip.
- ② 10' wide, scored City Standard sidewalk
- ③ Vehicular accent paving at driveway entrances
- ④ 18" tall raised planter with wood seating, stone veneer cladding and public art
- ⑤ Pedestrian Accent Paving
- ⑥ Bike Rack over concrete pad
- ⑦ Integral color pedestrian concrete paving
- ⑧ Enclosed outdoor dining area with tables and chairs and decorative enclosure
- ⑨ Colorful planter pots at lobby entrance
- ⑩ Planting strip with shrub planting at back of sidewalk
- ⑪ Pedestrian scale pole lights
- ⑫ Catalina Ironwood tree planting along entry drive

LEGEND:

- ① Seat wall height raised planter with accent planting and small scale flowering trees
- ② 10' wide, scored City Standard sidewalk
- ③ 4' wide, continuous planter strip along the back of curb. Planter strip to have 5' wide concrete walk through areas for access from on street parking. London Plane Tree street trees to be planted in the strip.
- ④ Bistro style seating at commercial entry areas with accent paving
- ⑤ Bike Rack over concrete pad
- ⑥ Public Plaza with accent paving, tables and chairs and umbrellas
- ⑦ Colorful planter pots at retail and building entrances

EL CAMINO REAL PLAZA



Scale: 1/8" = 1'
0 4 8 16

THE GUZZARDO PARTNERSHIP INC.
Landscape Architects • Land Planners

2232 - 2240 El Camino Real
Mixed Use Senior Apartments
Santa Clara, CA

SummerHill Apartment Communities
777 S. California Avenue
Palo Alto, CA

Sheet Title:

Enlargement Plan
Entry Plaza

Job No. 14033
Date: 08/28/2017
Scale:
Drawn By:

Sheet No:

L-1.2



- POOL COURTYARD LEGEND:**
- ① Lap swimming pool with concrete coping and decorative pool tile
 - ② Spa with concrete coping and decorative pool tile
 - ③ Pedestrian accent paving
 - ④ Integral color concrete paving
 - ⑤ Open overhead structure with downlights, heat lamps and speakers
 - ⑥ Large see-through fireplace with lounge seating
 - ⑦ Mexican Fan Palm tree planting in circular tree wells with low shrub planting
 - ⑧ Shade sail with tables and chairs
 - ⑨ Pedestrian scale pole light
 - ⑩ 5' Tall Metal Picket pool fence installed over concrete band
 - ⑪ Outdoor cooking counter with BBQ grills and bar seating
 - ⑫ 5' Glass pool fence where fence interfaces with building corridors
 - ⑬ Pedestrian concrete sidewalk
 - ⑭ Outdoor seating area with tables and chairs and farm table seating
 - ⑮ Fire Ladder set-up area
 - ⑯ Synthetic turf putting green
 - ⑰ Pedestrian accent paving
 - ⑱ Spa Feature Wall with tile finish

POOL COURTYARD

THE GUZZARDO PARTNERSHIP INC.
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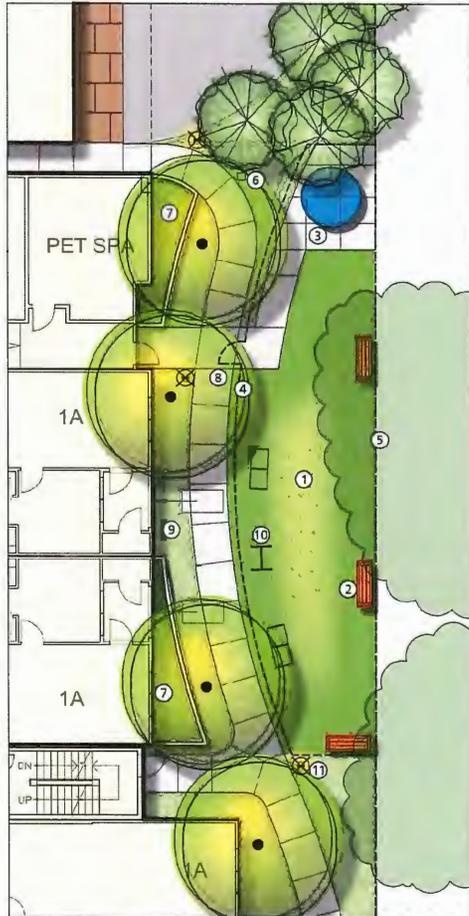
2232 - 2240 El Camino Real
 Mixed Use Senior Apartments
 Santa Clara, CA
 SummerHill Apartment Communities
 777 S. California Avenue
 Palo Alto, CA

Sheet Title:
**Enlargement Plan
 Pool Courtyards**

Job No. 14033
 Date: 08/28/2017
 Scale:
 Drawn By:

Sheet No:
L-1.3

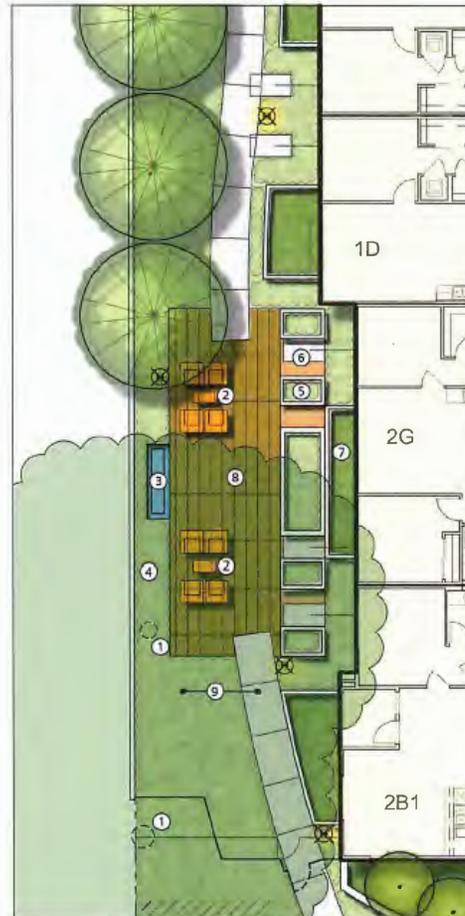




DOG RUN LEGEND:

- ① Synthetic turf dog run
- ② Bench Seating
- ③ Pedestrian accent paving with tables and chairs and umbrellas
- ④ 42" Tall, Vinyl Clad Chain Link Dog Run Fence
- ⑤ 42" high metal picket fence along property line
- ⑥ Wayfinding signage
- ⑦ Stormwater treatment planter
- ⑧ Pedestrian concrete sidewalk
- ⑨ 24" box flowering trees
- ⑩ Dog obstacles/ activities
- ⑪ Pedestrian scale pole light

DOG RUN



WESTERN PATIO LEGEND:

- ① Existing Fraxinus Trees to remain
- ② Outdoor Lounge Furniture
- ③ Recirculating fountain
- ④ Pedestrian Scale Pole lighting
- ⑤ Raised Herb Garden planters
- ⑥ Decomposed Granite access areas to service herb garden planters
- ⑦ Stormwater treatment planter with finishes to match architecture and wall cap
- ⑧ Pedestrian Accent Paving
- ⑨ Public Utility Easement

WESTERN PATIO



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2232 - 2240 El Camino Real
 Mixed Use Senior Apartments
 Santa Clara, CA

SummerHill Apartment Communities
 777 S. California Avenue
 Palo Alto, CA

Sheet Title:
**Enlargement Plan
 Dog Run and
 Western Patio**
 Job No. 14033
 Date: 08/28/2017
 Scale:
 Drawn By:

Sheet No:
L-1.4

TREE DISPOSITION LEGEND

#23 Tree Number per Arborist Report Survey

#23 Existing Tree to be Remained

#23 Existing Tree to be Removed

Tree Disposition and Replacement Summary:

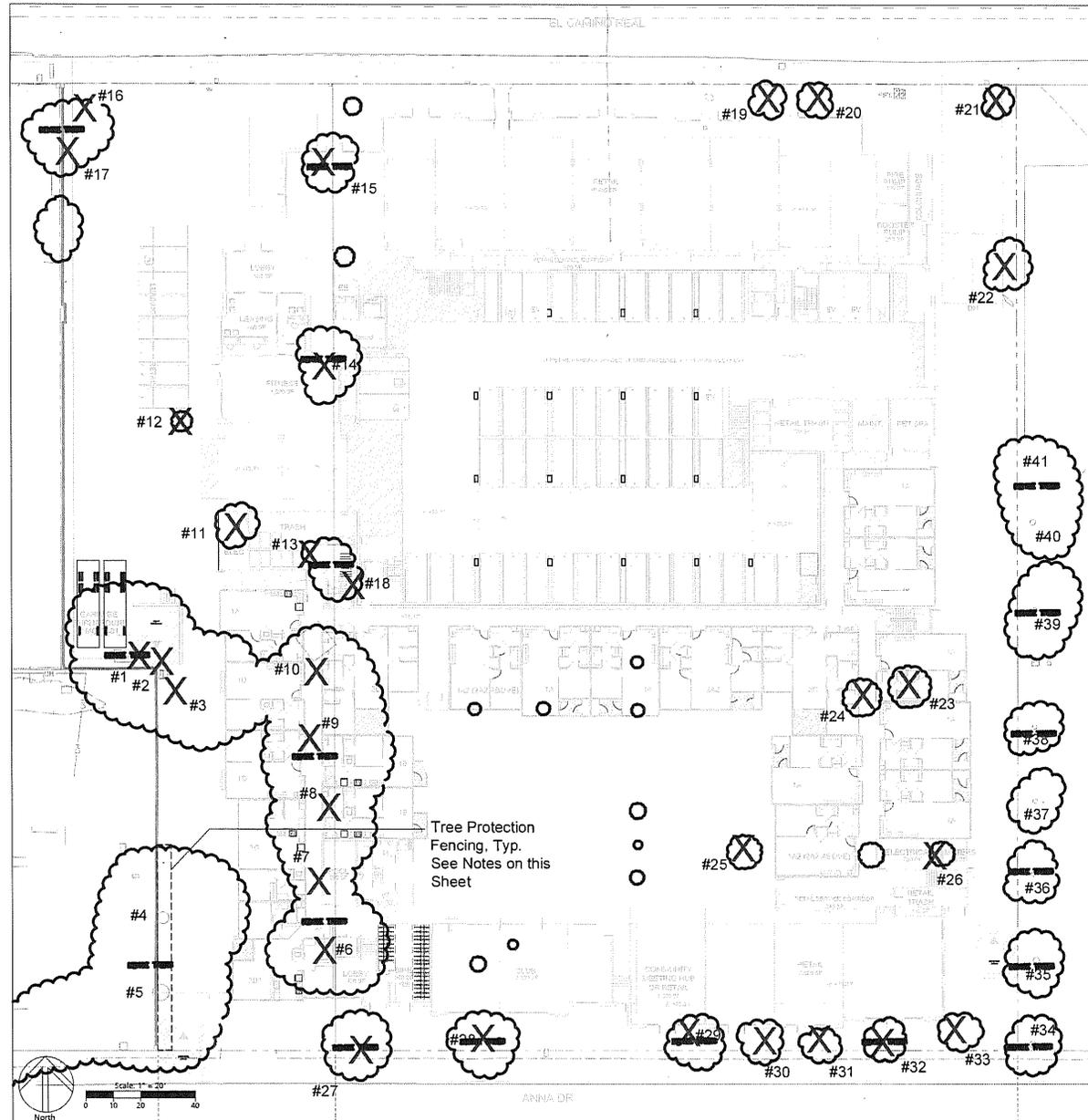
41	Number of Trees Surveyed
33	Number of Trees On Site
31	Number of Trees to be Removed On Site
2	Number of Tree to Remain On Site

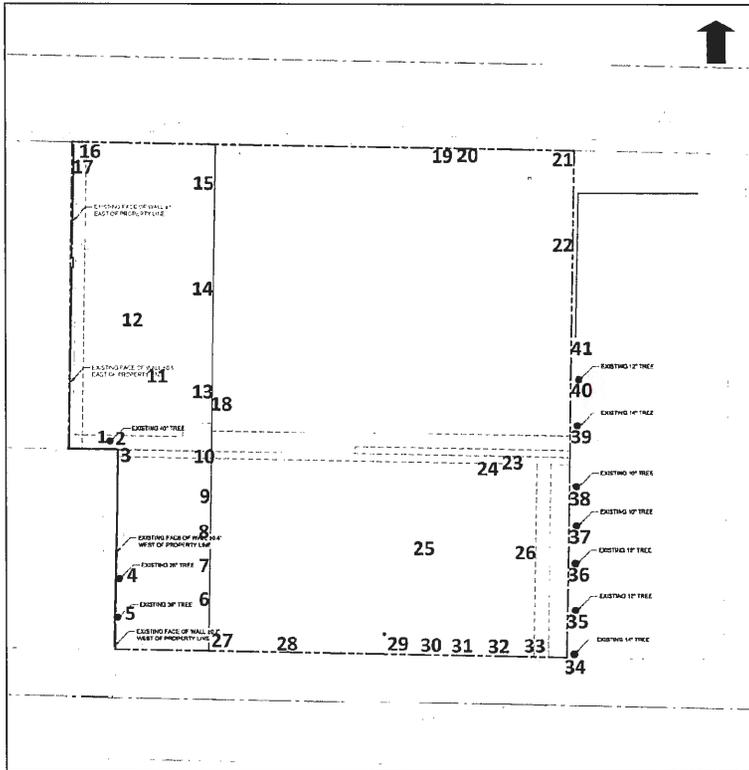
45	Number of New Trees Proposed
30	Proposed Trees 36" box size
11	Proposed Trees 24" box size
1	Proposed Trees 60" box size (Specimen)
3	Proposed Trees 18" BTH (Palms; Pool Courtyard)

NOTE: Tree Disposition Plan has been prepared based on topographic survey provided by Civil Engineer. See Arborist Report prepared by Hort Science dated March 2016 for tree evaluation details.

TREE PROTECTION/PRUNING NOTES

- All trees designated to be preserved shall be verified by the Project Superintendent. This shall occur prior to the removal of any trees on-site.
- Neighboring trees overhanging the site should be protected from site construction impacts in the same manner as existing on-site trees to be preserved.
- Tree drip zone areas shall be protected with a 5' high chain link fence enclosure mounted on 2 inch diameter galvanized iron posts driven into the ground to a depth of at least 2 feet at no more than 10 foot spacing. The fence shall enclose the entire area under the dripline. Spray paint the top of the fence with bright orange paint before unrolling the fabric to ensure visibility of the barrier. In no case shall any vehicles or equipment be permitted to be stored within this enclosed area. Fence shall be erected before construction begins and remain in place until time for relocation.
- No materials or topsoil shall be stored within the tree enclosure area.
- No trenching within enclosure shall be permitted. Any tree roots encountered outside of the enclosure smaller than 2" shall be cut clean with the approved tree pruning tools and sealed with an approved fungicidal tree sealant. Tree roots 2" or larger shall not be cut. Route pipes into alternate location to avoid conflict. Any damaged or torn roots are to be root pruned and sealed with orange shealac.
- No grading or trenching shall be permitted within the fenced zone or under the dripline except as specifically noted on the plans.
- No soil sterilants shall be applied under pavement near existing trees.
- Fertilizer and water soil injections must be done during April-May of the year of construction as well as the year after. These shall consist of Miller Nutrifleaf 20-20-20 or equal at 5.5 pounds per 100 gallons of water or equivalent, or as recommended by the Arborist. This shall be applied to a depth of at least 18" and at a 20 degree angle toward the tree trunk at a rate of 10 gallons per inch of tree caliper.
- Above ground surface runoff shall not be directed into the tree canopy area from adjacent areas.
- A supplemental irrigation program is recommended at regular intervals (every three to four weeks) during the period in May 1 through Oct. 31. Irrigation is to be applied at or above the 'dripline' in an amount sufficient to supply approximately fifteen gallons of water for each inch in trunk diameter.
- Irrigation can be provide by means of a soil needle, 'soaker' or permeable hose. When using 'soaker' or permeable hose, water is to be run at low pressure, avoiding runoff/puddling, allowing the needed moisture to penetrate the soil to feeder root depths.
- Periodic inspections by a qualified Arborist are recommended during construction activities, particularly as trees are impacted by trenching/grading operations. Any recommendations by the Arborist for maintaining the health of trees are to be implemented.
- Tree Pruning Notes. All trees shall be pruned in compliance with the following industry standards:
 - All specifications for working on protected trees shall be written and administered by a qualified arborist.
 - All work on protected trees shall be in accordance with the industry Standard Practices for Tree Care Operations outlined in the ANSI A300-1995 and ANSI33-1994.
 - All Specified tree work shall be designed to promote practices which encourage the preservation of tree structure and health, in accordance with the current Tree Pruning Guidelines (International Society of Arboriculture). An I.S.A. Certified Arborist or Tree Worker must be present at all times during pruning operations.





Tree Inventory Map

2232-2240 El Camino Real
Santa Clara, CA

Prepared for:
SummerHill Apartment
Communities
Palo Alto, CA

March 2016

No Scale

Notes:

Base map provided by:
HMH Engineers

Numbered tree locations are approximate



325 Ray Street
Pleasanton, California 94588
Phone 925 484 0211
Fax 925 404 0200

Tree Assessment

SummerHill Apartment Communities
2232-2240 El Camino Real
Santa Clara, CA
March 2016



Tree No.	Species	Trunk Diameter (in.)	Protected?	Condition		Suitability for Preservation	Comments
				1=poor	5=excellent		
1	Alleppo pine	42	Yes	3		Moderate	Multiple attachments at 6'; large limb removed at attachment; good form; fair structure; AT&T vault at base.
2	Alleppo pine	4	No	4		Moderate	Good young tree, beneath canopy of #1.
3	Alleppo pine	29	Yes	3		Moderate	Codominant trunks at 7'; crowded foot; asymmetrical crown to east; surface roots
4	Evergreen ash	25	Yes	3		Moderate	In 5' planter; roots lifting curb and asphalt; circling root; codominant trunks at 8'; previously topped at 20'; slightly thin crown.
5	Evergreen ash	37	Yes	4		Moderate	In 5' planter; roots lifting curb and asphalt; multiple attachments at 8'; good form; twig dieback.
6	Evergreen ash	27	Yes	3		Moderate	In 5' planter; surface roots; codominant trunks at 7'; large stem removed at attachment; previously topped at 15'; poor structure.
7	Evergreen ash	20	Yes	3		Moderate	In 5' planter; multiple attachments at 6'; previously topped at 15'; twig dieback.
8	Evergreen ash	18	Yes	2		Low	In 5' planter; multiple attachments at 7'; previously topped at 12'; thin crown.
9	Evergreen ash	26	Yes	3		Moderate	In 5' planter; multiple attachments at 7'; previously topped at 15'; slightly thin crown.
10	Evergreen ash	24	Yes	3		Moderate	Circling root; multiple attachments at 8'; previously topped at 15'; good form; poor structure.
11	African fern-pine	5	No	4		High	Multiple attachments at 7'; dense crown; good young tree.
12	Mayten	7	No	2		Low	Multiple attachments at 7'; small crown; heavily pruned.
13	Weeping bottle brush	12	Yes	3		Moderate	In narrow planter; codominant trunks at 7'; asymmetrical crown.
14	Weeping bottle brush	17	Yes	2		Low	In narrow planter; codominant trunks split from 3' to 6'; dense crown.
15	Weeping bottle brush	13	Yes	3		Moderate	Multiple attachments at 5'; in narrow planter; dense crown; pruned for vehicle clearance
16	Cabbage palm	12	Yes	3		Moderate	Trunk wound from base to 5'; multiple attachments at 8'; small crown.
17	Cabbage palm	10	Yes	3		Moderate	Multiple attachments at 8'; dead lower branches; fair form.
18	Victorian box	10	No	2		Low	Codominant trunks at 4'; thin crown.
19	Evergreen pear	9	No	3		Moderate	Multiple attachments at 5'; small crown.
20	Evergreen pear	8	No	3		Moderate	Codominant trunks at 8'; small crown.

Tree Assessment

SummerHill Apartment Communities
2232-2240 El Camino Real
Santa Clara, CA
March 2016



Tree No.	Species	Trunk Diameter (in.)	Protected?	Condition		Suitability for Preservation	Comments
				1=poor	5=excellent		
21	Evergreen pear	8	No	3		Moderate	Codominant trunks at 6'; small crown.
22	African fern-pine	15	Yes	3		Moderate	In 5' planter against Chase building; lifting curb and asphalt; codominant trunks at 18'; raised to 22' for building clearance.
23	Evergreen pear	9	No	3		Moderate	In 3.5' square planter; codominant trunks at 6'; fair form; poor structure.
24	Evergreen pear	7	No	3		Moderate	In 3.5' square planter; codominant trunks at 6'; fair form; raised crown.
25	Evergreen pear	8	No	3		Moderate	In 3.5' square planter; codominant trunks at 6'; slightly thin crown.
26	Evergreen pear	5	No	3		Moderate	In 3.5' square planter; small crown.
27	Evergreen pear	16	Yes	3		Moderate	Multiple attachments at 6'; high crown; slightly thin crown.
28	Evergreen pear	14	Yes	3		Moderate	Multiple attachments at 6'; fair form and structure.
29	Evergreen pear	10	No	3		Moderate	Codominant trunks at 6'; fair form and structure; slightly thin crown.
30	Evergreen pear	8	No	3		Moderate	Multiple attachments at 6'; small; slightly thin crown.
31	Evergreen pear	10	No	3		Moderate	Multiple attachments at 6'; small; slightly thin crown.
32	Evergreen pear	9	No	3		Moderate	Multiple attachments at 6'; small crown.
33	Evergreen pear	9	No	3		Moderate	Codominant trunks at 6'; small; slightly thin crown.
34	Southern magnolia	11	No	3		-	Multiple attachments at 6'; slightly thin crown.
35	Southern magnolia	10	No	3		-	Multiple attachments at 6'; slightly thin crown.
36	Southern magnolia	10	No	2		-	Multiple attachments at 8'; thin crown; twig dieback.
37	Southern magnolia	10	No	2		-	Multiple attachments at 8'; thin crown; twig dieback.
38	Southern magnolia	10	No	3		-	Multiple attachments at 6'; slightly thin crown.
39	Southern magnolia	15	Yes	4		-	Base 6' from building; surface roots; multiple attachments at 9'; fair form and structure; twig dieback.
40	Southern magnolia	13	Yes	4		-	Base 5' from building; fair form and structure; twig dieback.
41	Southern magnolia	13	Yes	4		-	Base 6' from building; surface roots; codominant trunks at 8'; twig dieback; crown extends over building.

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Landscape Architects • Land Planners

2232 - 2240 El Camino Real
Mixed Use Senior Apartments
Santa Clara, CA
SummerHill Apartment Communities
777 S. California Avenue
Palo Alto, CA

Sheet Title:
Tree Report

Job No. 14033
Date: 08/28/2017
Scale:
Drawn By:

Sheet No:
L-2.2

PLANT PALETTE

KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WUCOLS	QTY
ARB	MAR	* <i>Arbutus x 'Marina'</i>	Strawberry Tree	multi	L	
LVO	FLO	* <i>Lyonothamnus floribundus</i>	Catalina Ironwood		L	
OLE	EUR	* <i>Olea europaea 'Swann Hill'</i>	Fruitless Olive Tree		L	
PLA	AGE	* <i>Platanus acerifolia 'Columbia'</i>	London Plane Tree	street tree	M	
PIR	KAW	* <i>Pyrus kawakami</i>	Evergreen Pear		M	
QUE	AGR	* <i>Quercus agrifolia</i>	Coast Live Oak		M	
TRI	LAU	* <i>Tristitia conferta</i>	Briarbane Oak		M	
WAS	ROB	* <i>Washingtonia robusta</i>	Mexican Fan Palm		L	
* 24" BOX tree unless noted otherwise on planting plan						
** contractor to provide pictures before final selection of trees						
KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	WUCOLS	QTY
ATN	15 gal	<i>Agave attenuata 'Nova'</i>	Blue Fox Tail Agave		L	
ABG		<i>Agave 'Blue Glow'</i>	Blue Glow Agave		L	
BOR		<i>Berberis th. 'Orange Rocket'</i>	'Orange Rocket' Barberry	24" O.C.	M	
BOR		<i>Berberis th. 'Orange Rocket'</i>	'Orange Rocket' Barberry	24" O.C.	M	
AMM		<i>Aloe maculata 'Monstrose'</i>	Monster Soap Aloe		L	
CAC	15 gal	<i>Carpenteria californica</i>	Bush Anemone		L	
DBI		<i>Dietes 'Orange Drop'</i>	Fortnight Lily	24" O.C. as GC	L	
DVP	15 gal	<i>Dodonaea viscosa 'Purple'</i>	Purple Hopseed Bush		L	
LLE		<i>Leopoldia lemurus</i>	Lion's Tail	48" O.C.	L	
NDO	10 gal	<i>Nandina d. 'Obsession'</i>	'Obsession' Nandine	24" O.C.	L	
LIG		<i>Lavandula x 'Grosso'</i>	Lavender 'Grosso'	24" O.C.	L	
PHS	15 gal	<i>Phormium 'Sundowner'</i>	Sundowner Flax	36" O.C.	L	
PJS		<i>Phormium 'Jack Spratt'</i>	Jack Spratt Flax	18" O.C. as GC	L	
PSM		<i>Phormium 'Sweet Mist'</i>	Sweet Mist Flax	12" O.C. as GC	L	
PRS		<i>Phormium 'Rainbow Warrior'</i>	Rainbow Warrior Flax	24" O.C.	L	
* 5 gal unless noted otherwise.						
SUB SHRUBS, GRASSES, FERNS...						
AMO	5 gal	<i>Acanthus mollis</i>	Bear's Breech		M	
AEL		<i>Aspidistra elatior</i>	Cast-Iron Plant	24" O.C.	L	
CHT	5 gal	<i>Chenodactylum tectorum</i>	Small Cope Rush	24" O.C. as GC	L	
CMJ	5 gal	<i>Civija miniata</i>	Orange Civija		M	
CEM	5 gal	<i>Crocasmia 'Emerglow'</i>	Orange Crocasmia	24" O.C.	L	
DER	5 gal	<i>Dryopteris erythrosora</i>	Autumn Fern	24" O.C.	M	
LPE		<i>Libertia peregrinans</i>	Orange Libertia	12" O.C. as GC	L	
MJR		<i>Muhlenbergia rigens</i>	Deer Grass	36" O.C.	L	
MPP	5 gal	<i>Muhlenbergia 'Pink Flamingo'</i>	Pink Muhly	24" O.C.	L	
ZCA	5 gal	<i>Zauschneria c. 'Western Hills'</i>	'Western Hills' Cali. Fuchsia		L	
* 1 Gal unless noted otherwise.						
GROUNDCOVERS						
OML		<i>Oxalis 'Molten Lava'</i>	Molten Lava Oxalis	12" O.C.	M	
SEA		<i>Sedum 'Angelina'</i>	'Angelina' Stonecrop	12" O.C.	L	
SLB		<i>Sedum 'Lemon Ball'</i>	'Lemon Ball' Stonecrop	12" O.C.	L	
* 1 Gal unless noted otherwise.						
VINES						
FP	5 gal	<i>Ficus pumila</i>	Creeeping Fig Vine			
SOD						
NMF	sod	<i>Native Mow Free by Delta Blue Grass</i>				
SHB	sod	<i>Shade Blend by Delta Blue Grass</i>				

**NOTE: The above plants have been selected as being representative of the overall planting design intent. This plant palette is suggested for use, but does not preclude use of other appropriate plant material. Water-conserving plants and other climate and habitat near streams restoration (per SCWWD) appropriate varieties of trees, shrubs and ground covers have been selected to complement the character of the project.

The final construction documents will provide the contractor with an understanding of the design intent for the maintenance of the planting areas regarding care of the site. The maintenance contractor shall furnish all labor, equipment, materials and supervision required to properly maintain the landscaped areas in an attractive condition and as described in the project maintenance specifications.

All planted areas are to be watered with an approved automatic underground irrigation system. The system shall be designed to make efficient use of water through conservation techniques, and be in compliance with the State and Water District's (SCVURPPP) water conservation ordinance.

LANDSCAPE WATER-EFFICIENCY CHECKLIST

Applicant Name: _____ Phone: _____ Email: _____

Project Site Address: _____

Total Landscape Area (square feet): **14,953 sq ft**

Turf Area: _____

Non-Turf Plant Area: **14,953 sq ft**

Special Landscape Area: _____

Water Features: _____

Wet Surface Area: _____

See reverse side for other definitions.

NOTE: A landscape and irrigation design plan (and supporting documents) shall be required if: (a) landscape area exceeds 5,000 sq. ft.; (b) a majority (>50%) of plants are medium or high water use; or, (c) turf area exceeds 25% of total landscape area or 1,250 sq. ft.

All areas to be disturbed during construction shall be presumed to be landscape area, except where structures or hardscape will be installed.

Landscape Parameter	Design Measures	Project Compliance
Plant Water Use	At least 50% of the plants, and at least 50% of the trees, shall either be native or low water use. (From §833-4)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Provide explanation on back)
Turf	Total turf area shall not exceed 25% of the landscape area, or 1,250 square feet, whichever is lesser in area. (From §833-4) All portions of turf areas shall be wider than eight (8) feet. Turf (if utilized) is limited to slopes not exceeding 25%.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Provide explanation on back)
Hydrozones	Plants with similar water needs shall be grouped within hydrozones. Irrigation for each hydrozone shall be controlled by a separate valve.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Provide explanation on back)
Irrigation System	Systems shall be designed and maintained to minimize water waste (e.g., runoff, overspray, etc). Low-volume irrigation shall be utilized in non-turf areas. Overhead (spray) irrigation shall only occur between the hours of 8:00 pm and 10:00 am.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Provide explanation on back)
Soil	A minimum of eight (8) inches of non-compacted topsoil should be available in planted areas. Soil amendments, such as compost or fertilizer, should be added as needed according to the soil conditions at the project site and based on what is appropriate for the selected plants.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Provide explanation on back)
Mulch	A minimum two (2)-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of direct seeding application (e.g. hydro-seed).	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Provide explanation on back)

I am aware of available informational resources regarding native and low water use plants, irrigation efficiency, and other aspects of water-efficient landscaping. I certify that the information provided on this checklist is correct, and I understand that any changes to the project will necessitate a new checklist.

Scale: 1 inch = 10 feet. Planting: 1/8" = 1' (1/2" = 1').

This checklist implements the requirements of Division 833: Water Conservation in Landscaping, of the Santa Clara County Ordinance Code. The responses provided will be evaluated to determine whether the proposed landscaping is consistent with the ordinance's water-efficiency goals, and what additional plans, documents and materials may be required.

Applicant Comments
(Use optional paper if necessary)

County Evaluation

Approved
 Not Approved

Staff Comments

Signature: _____ Date: _____

Select Definitions

Hydrozone: A portion of the landscaped area having plants with similar water needs. A hydrozone may be irrigated or non-irrigated.

Low-volume irrigation: The application of irrigation water through a system of tubing or lateral lines and low-volume emitters such as drip and bubblers. Certain rotary emitters designed for highly efficient water distribution, and glazed to irrigate low water use plants, may also be included in this definition at the discretion of the Planning Office.

Low water use plant: A plant species whose demonstrated water needs are compatible with local climate and soil conditions such that regular supplemental irrigation is not required to sustain the plant after it has become established. Any species classified as "very low water use" and "low water use" by WUCOLS, having a regionally adjusted plant factor of 0.0 through 0.3, shall be categorically deemed a low water use plant. Other credible information resources that provide locally relevant information on plant species water needs (e.g. SCVWD Water-Wise Plant List, EBMUD, Sunset Publishing) may also be utilized to establish whether a particular species qualifies as a low water use plant.

Native plants: A plant indigenous to a specific area of consideration. For the purpose of this division, the term shall refer to plants indigenous to the coastal ranges of Central and Northern California, and more specifically to such plants that are related to the ecology of the present or historic natural community of the project's vicinity.

Special landscape area: An area of the landscape dedicated solely to edible plants, areas irrigated with recycled water, and water features using recycled water. Also includes land uses characterized by active play or high-volume foot traffic such as parks, recreation, sports fields and golf courses; where turf functions as a walking playing surface.

Turf: A ground cover surface consisting of non-native grass species that is customarily mowed. Annual bluegrass, Kentucky bluegrass, perennial ryegrass, red fescue, and tall fescue are examples of cool-season turf grasses. Bermuda grass, kikuyu grass, seashore paspalum, St. Augustine grass, zoysia grass, and buffalo grass are warm-season turf grasses.

Water feature: A landscape design element where open water performs an aesthetic or recreational function. Water features include ponds, fountains, waterfalls and artificial streams. Also includes spas and swimming pools that are ancillary to single-family, two-family and multi-family residential uses.

Wet surface area: The surface area of that portion of a water feature that functions to contain water, such as the water surface of a swimming pool, spa, or garden pond. For a fountain or other feature with flowing water, wet surface area shall be measured as a two-dimensional plane bounded by the perimeter of the area where water has been designed to flow.



THE GUZZARDO PARTNERSHIP INC.
Landscape Architects • Land Planners

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Mixed Use Senior Apartments
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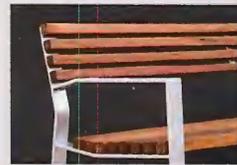
Sheet Title:
Water Efficiency and Planting Palette

Job No. 14033
Date: 08/28/2017
Scale:
Drawn By:

Sheet No:
L-3.1



PAVING



SITE AMENITIES



LIGHTING

THE GUZZARDO PARTNERSHIP INC.
 Landscape Architects • Land Planners

2232 - 2240 El Camino Real
 Mixed Use Senior Apartments
 Santa Clara, CA

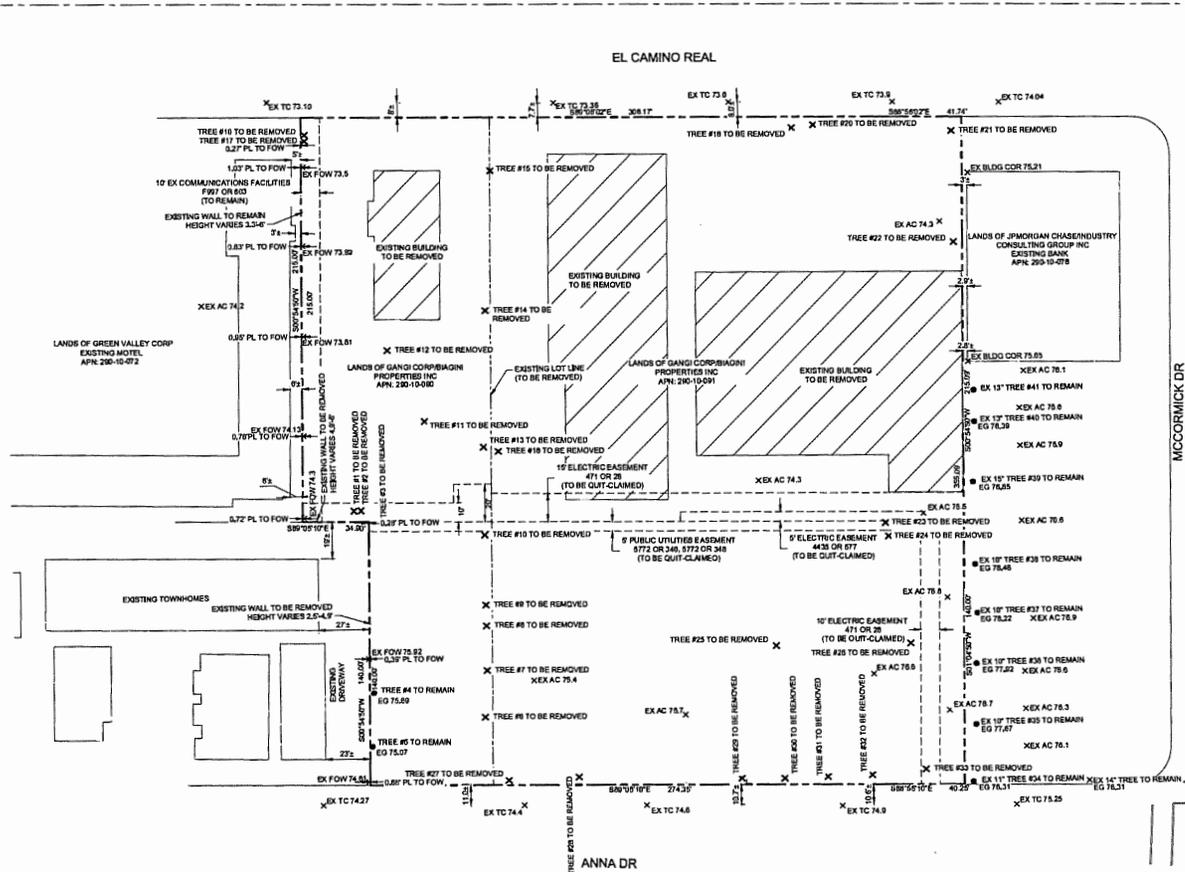
SummerHill Apartment Communities
 777 S. California Avenue
 Palo Alto, CA

Sheet Title:
 Landscape Imagery

Job No. 14033
 Date: 08/28/2017
 Scale:
 Drawn By:

Sheet No:
L-4.1

EL CAMINO REAL



LEGEND

PROJECT BOUNDARY	---
EASEMENT	---
EXISTING PROPERTY LINE	---
FACE OF WALL	---
EXISTING	EX
PROPERTY LINE	---
EXISTING TREE TO BE REMOVED	X
EXISTING TREE TO REMAIN	•



1570 Oakland Road (408) 487-2200
San Jose, CA 95131 HMMI.com

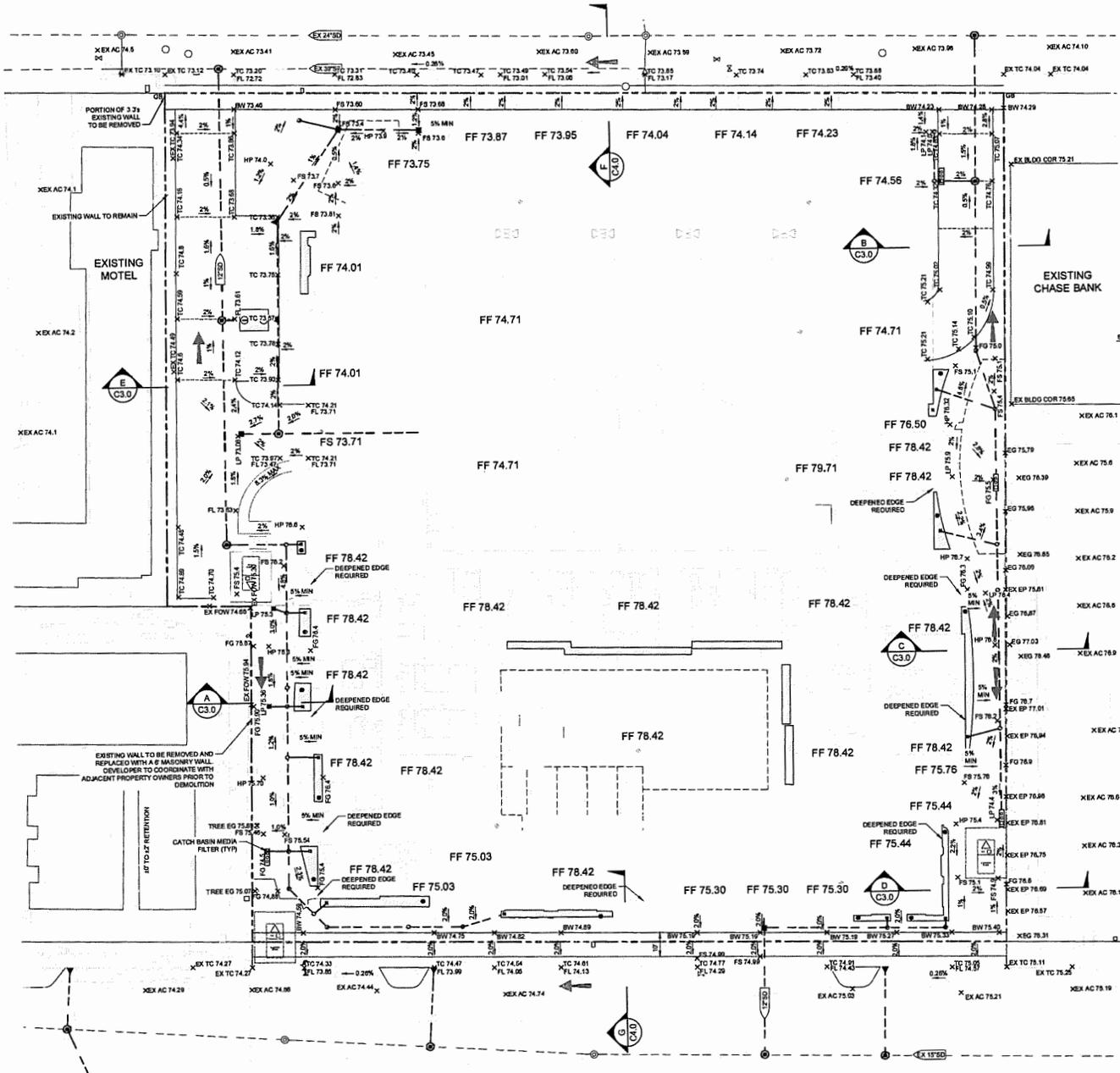
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SummerHill Apartment Communities
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Palo Alto, CA

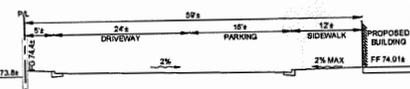
Sheet Title:
EXISTING CONDITIONS

Job No. 14033
Date: 08/28/2017
Scale:
Drawn By:
Sheet No. C1.0

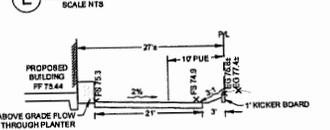


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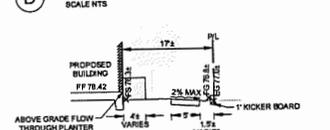
- PROJECT BOUNDARY
- EASEMENT
- STORM DRAIN PIPE
- STORM DRAIN PIPE (EXISTING)
- STORM DRAIN MANHOLE (EXISTING)
- CURB INLET
- CURB INLET (EXISTING)
- CATCH BASIN
- CATCH BASIN (EXISTING)
- AREA DRAIN
- FINISH FLOOR ELEVATION
- TOP OF CURB ELEVATION
- FLOW THROUGH PLANTER BOX
- 8" WIDE CONCRETE VAULT MEDIA FILTER
- FILTER CATCH BASIN



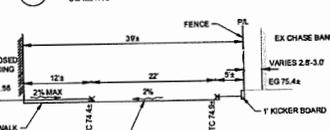
E SECTION



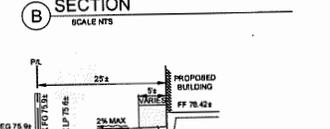
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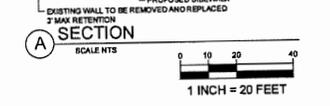
C SECTION



B SECTION



A SECTION



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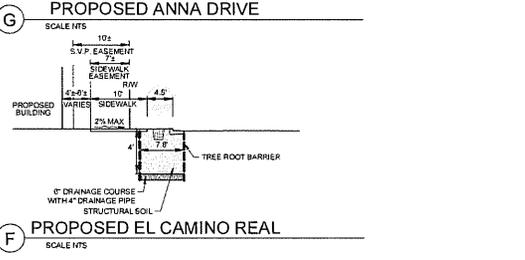
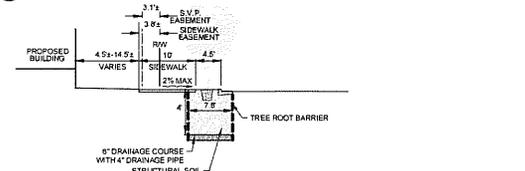
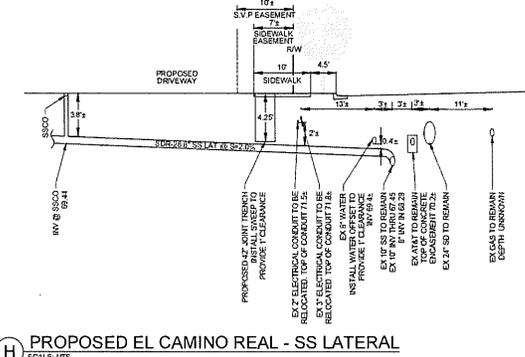
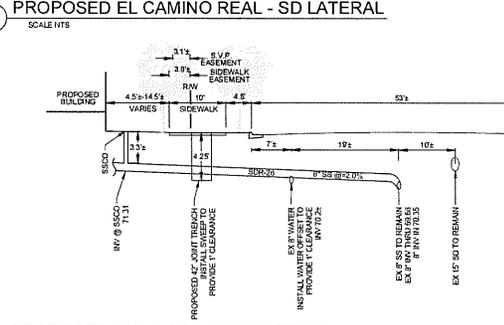
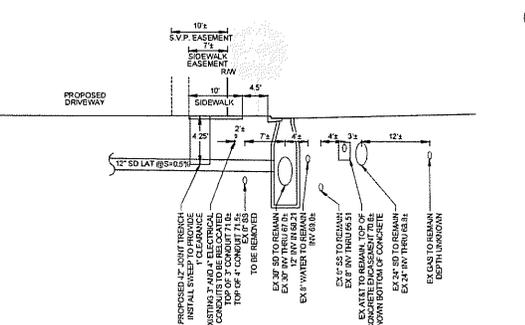
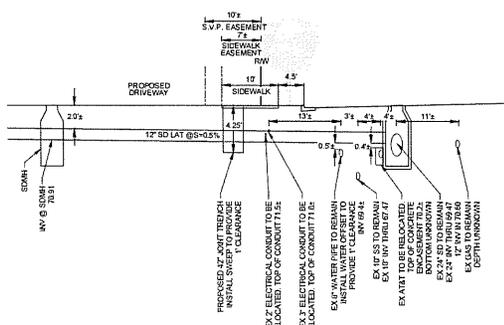
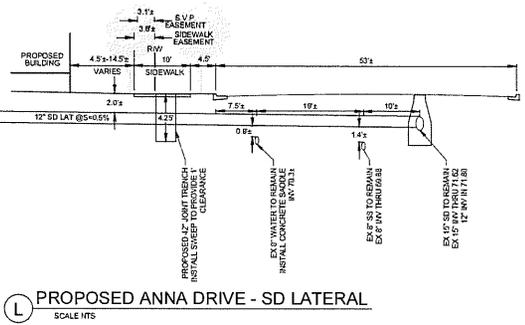
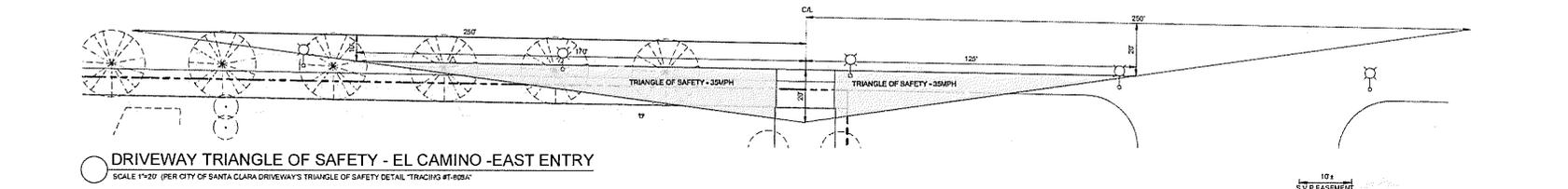
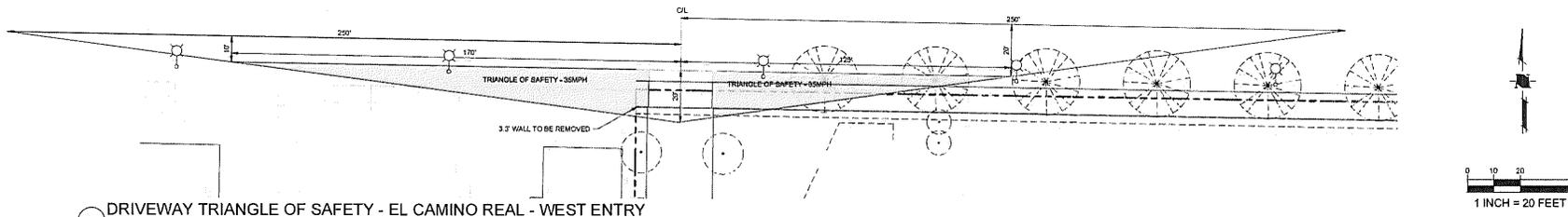
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Sheet Title:
CONCEPTUAL GRADING AND DRAINAGE PLAN

Job No. 14033
Date: 08/28/2017
Scale: 1" = 20'
Drawn By:

Sheet No: **C3.0**

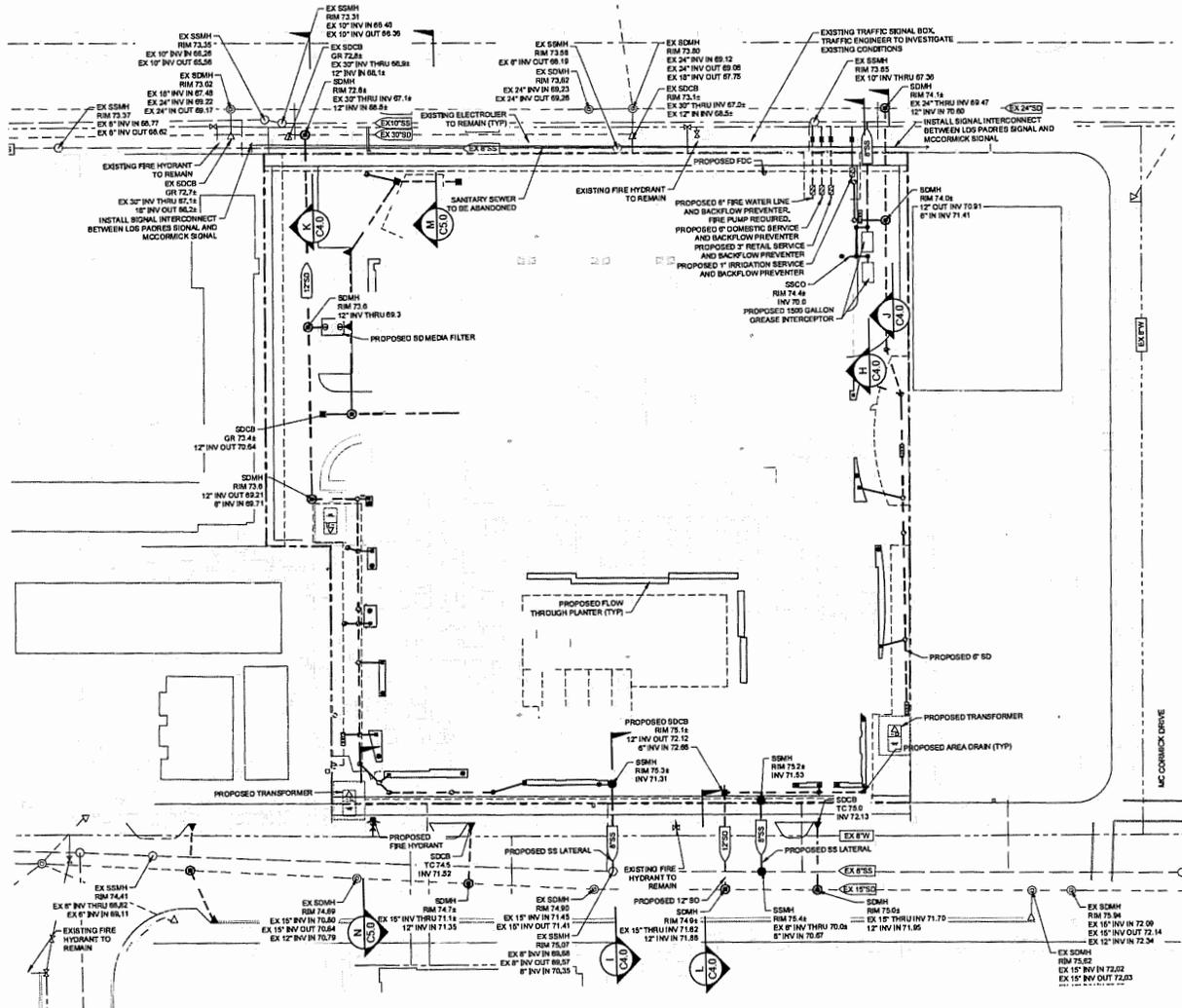


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Sheet Title:
CONCEPTUAL GRADING CROSS SECTIONS AND DETAILS
Job No. 14033
Date: 08/26/2017
Scale: 1" = 20'
Drawn By: JW
Sheet No: C4.0

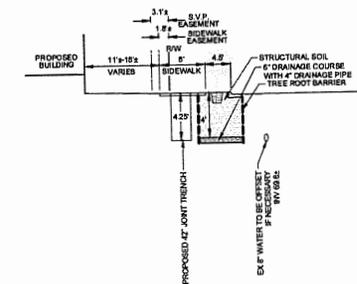


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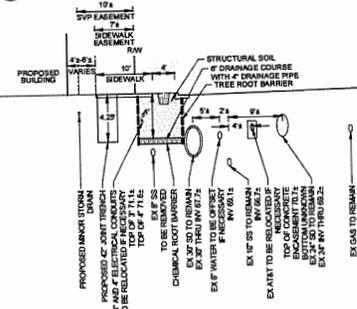
PROJECT BOUNDARY	---
EASEMENT	---
STORM DRAIN PIPE	---
STORM DRAIN PIPE (EXISTING)	---
STORM DRAIN MANHOLE	⊙
STORM DRAIN MANHOLE (EXISTING)	⊙
CURB INLET	△
CURB INLET (EXISTING)	△
SANITARY SEWER MANHOLE	⊙
SANITARY SEWER MANHOLE (EXISTING)	⊙
SANITARY SEWER PIPE	---
SANITARY SEWER PIPE (EXISTING)	---
WATER MAIN	---
WATER MAIN (EXISTING)	---
FIRE HYDRANT (EXISTING)	⊙
WATER METER (EXISTING)	⊙
AT&T (EXISTING)	AT&T
ELECTRIC (EXISTING)	E
GAS (EXISTING)	G
COMCAST (EXISTING)	C
OVERHEAD (EXISTING)	OH
FINISH FLOOR ELEVATION	FF
TOP OF CURB ELEVATION	TC
FIRE DEPARTMENT CONNECTION	⊙
FLOW THROUGH PLANTER BOX	⊙
8" WIDE CONCRETE VAULT MEDIA FILTER	⊙
FILTER CATCH BASIN	⊙



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(N) PROPOSED EL CAMINO REAL
SCALE NTS



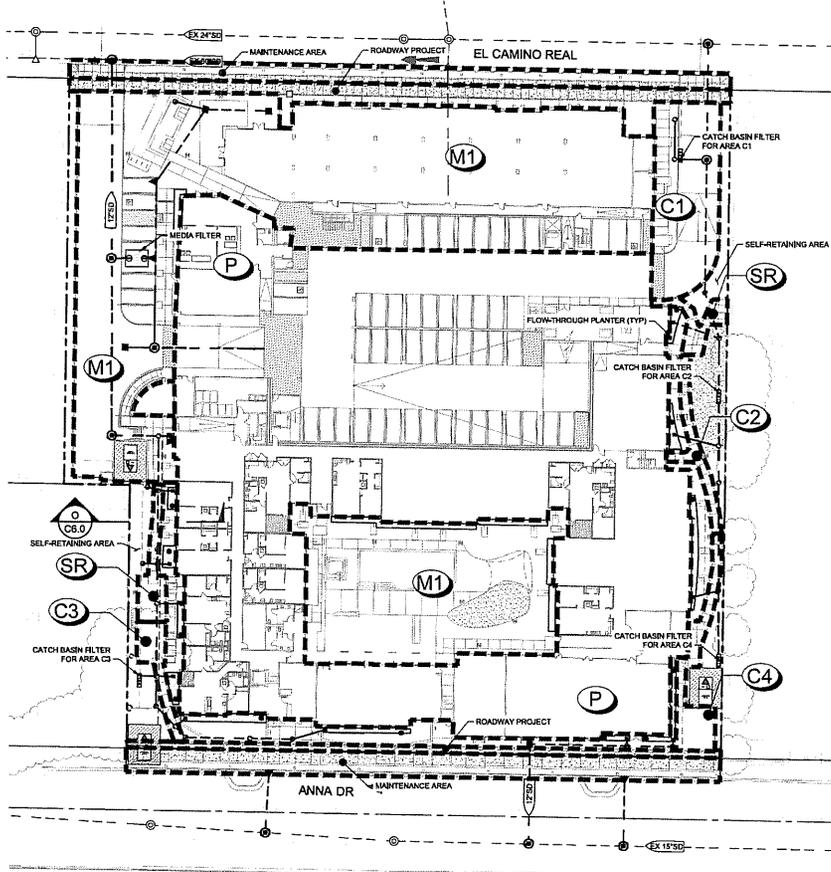
(M) PROPOSED EL CAMINO REAL
SCALE NTS



THE SOLE CONTRACTOR'S RESPONSIBILITY IS TO VERIFY THE ACCURACY OF ALL INFORMATION PROVIDED TO HIM BY THE CLIENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR ANY AND ALL COSTS INCURRED IN CONNECTION WITH THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR ANY AND ALL COSTS INCURRED IN CONNECTION WITH THE PROJECT.

2232 - 2240 El Camino Real
Mixed Use Senior Apartments
Santa Clara, CA
SummerHill Apartment Communities
777 S. California Avenue
Palo Alto, CA

Sheet Title:
CONCEPTUAL UTILITY PLAN
Job No: 14033
Date: 08/28/2017
Scale: 1" = 30'
Drawn By: JW
Sheet No: C5.0



I. Routine Maintenance Activities

The principal maintenance objectives are to ensure that water flows unimpeded into the flow-through planter and landscaping remains attractive in appearance. Table 1 shows the routine maintenance activities, and the frequency at which they will be conducted.

No.	Maintenance Task	Frequency of Task
1	Inspect the planter surface area, inlets and outlets for obstructions and trash; clear any obstructions and remove trash.	Quarterly
2	Inspect planter for standing water. If standing water does not drain within 2-3 days, the surface biotreatment soil should be tilled or replaced with the approved soil mix and replanted. Use the cleanout riser to clear any underdrains of obstructions or clogging material.	Quarterly
3	Check for eroded or settled biotreatment soil media. Level soil with rake and remove/replant vegetation as necessary.	Quarterly
4	Maintain the vegetation and irrigation system. Prune and weed to keep flow-through planter neat and orderly in appearance.	Quarterly
5	Evaluate health and density of vegetation. Remove and replace all dead and diseased vegetation. Remove excessive growth of plants that are too close together.	Annually, before the rainy season begins
6	Use compost and other natural soil amendments and fertilizers instead of synthetic fertilizers, especially if the system uses an underdrain.	Annually, before the rainy season begins
7	Inspect the overflow pipe to make sure that it can safely convey excess flows to a storm drain. Repair or replace any damaged or disconnected piping. Use the cleanout riser to clear underdrains of obstructions or clogging material.	Annually, before the rainy season begins
8	Inspect the energy dissipator at the inlet to ensure it is functioning adequately, and that there is no scour of the surface mulch. Remove any accumulation of sediment.	Annually, before the rainy season begins
9	Inspect and, if needed, replace wood mulch. It is recommended that 2" to 3" of composted arbor mulch be applied once a year.	Annually, before the rainy season begins
10	Inspect system for erosion of biotreatment soil media, loss of mulch, standing water, clogged overflows, weeds, trash and dead plants. If using rock mulch, check for 3" of coverage.	Annually at the end of the rainy season and/or after large storm events.
11	Inspect system for structural integrity of walls, flow spreaders, energy dissipators, curb cuts, outlets and flow splitters.	Annually at the end of the rainy season and/or after large storm events.

II. Use of Pesticides

Do not use pesticides or other chemical applications to treat diseased plants, control weeds or removed unwanted growth. Employ non-chemical controls (biological, physical and cultural controls) to treat a pest problem. Prune plants properly and at the appropriate time of year. Provide adequate irrigation for landscape plants. Do not over water.

III. Vector Control

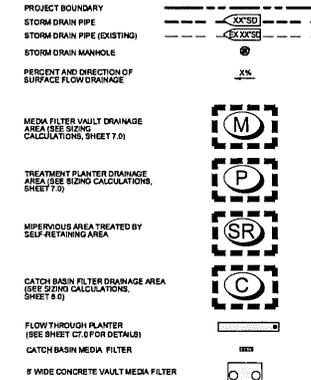
Standing water shall not remain in the treatment measures for more than five days, to prevent mosquito generation. Should any mosquito issues arise, contact the Santa Clara Valley Vector Control District (District). Mosquito larvicides shall be applied only when absolutely necessary, as indicated by the District, and then only by a licensed professional or contractor. Contact information for the District is provided below.

Santa Clara Valley Vector Control District
1580 Berger Dr.
San Jose, California 95112
Phone: (408) 918-4770 / (800) 675-1155 - Fax: (408) 298-6356
www.sccgov.org/portal/site/vector

IV. Inspections

The attached Flow-Through Planter Inspection and Maintenance Checklist shall be used to conduct inspections monthly (or as needed), identify needed maintenance, and record maintenance that is conducted.

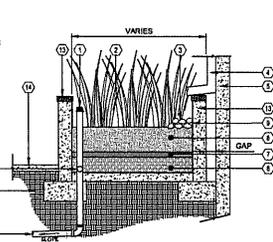
LEGEND



LID CREDITS

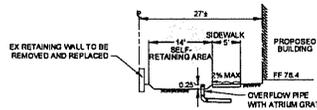
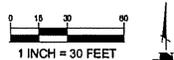
LOCATION 23%
DENSITY 15% (ASSUMING 25 DU/AC)
PARKING CREDIT: 10%
TOTAL LID CREDIT AVAILABLE: 45%

- NOTES:**
1. SEE CALCULATIONS ON STORMWATER PLANS FOR DIMENSIONS.
2. SEE LANDSCAPE PLANS FOR PLANTING AND IRRIGATION.



FLOW THROUGH PLANTER
SCALE NTS

1. OVER FLOW PIPE WITH ATTRUM GRATE
2. PLANT MATERIAL (SEE LANDSCAPE PLANS)
3. COBBLE DISPATOR
4. DOWNSPOUT
5. BUILDING WALL (SEE STRUCTURAL PLANS)
6. SANDY LOAM WITH PERCOLATION RATE OF 2" TO 1" PER HOUR (MIN. 1" DEPTH), SHALL CONFORM TO TEST SAN FRANCISCO SAN MUNICIPAL REGIONAL PERMIT-REQUIRED MODEL SPECIFICATION SOIL MEDIA SPECIFICATION OR EQUIVALENT
7. PER GRAVEL (MIN 2" DEPTH)
8. DRAIN ROCK (MIN 12" DEPTH)
9. WATERPROOFING BY OTHERS
10. NATIVE GRADE OR CERTIFIED COMPACTED SUBGRADE
11. PVC PIPE TO STORM DRAIN
12. PERFORATED PVC SUBDRAIN PIPE
13. PLANTER WALL
14. ADJACENT SIDEWALK (PER LANDSCAPE PLAN)



SELF TREATING AREA
SCALE NTS

Self-Retaining Area Design Standards (per SCVURPPP C-3 Handbook)

- Ratio of impervious surface area (sidewalk area) to adjacent pervious surface area not to exceed maximum of 2:1
- All drain inlets within Self-Retaining Area to be a minimum of 3 inches above grade
- Landscape areas adjacent to sidewalk, area graded to be concave

Proposed Self-Retaining Area Sizing

Total Area: 2,313 ft²
Sidewalk Area: 1,542 ft²
Proposed Depressed Landscape Area: 771 ft²
Max. Impervious Area to Receiving Pervious Area Ratio: 2:1 (1,542 ft² / 771 ft²)
Total Volume of Runoff Ponded: .25 (proposed 3" ponding depth) x 771 ft² = 192.75 cu.ft.



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Sheet Title:
CONCEPTUAL STORMWATER CONTROL PLAN

Job No: 14033
Date: 08/28/2017
Scale:
Drawn By:

Sheet No: **C6.0**

EL CAMINO REAL

151 UNITS

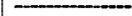
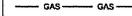
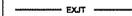
CHASE BANK

MCCORMICK DRIVE

ANNA DRIVE

NOTE TO CONTRACTOR:
FOR CONTRACTOR'S WORK RESPONSIBILITY,
REFER TO JOINT TRENCH TITLE SHEET (JT-1)

LEGEND:

-  PROPOSED JOINT TRENCH
-  PROPOSED SERVICE TRENCH
-  PROPOSED 84" x 75" TRANSFORMER PAD (SVP) WORKING SPACE SHOWN WITH 8' APRON
-  PROPOSED GAS METER LOCATION
-  4' x 6' x 12" GAS BELLHOLE (PG&E)
-  24" x 36" x 24" SPLICE BOX (AT&T)
-  17" x 30" x 12" B-36 (COMCAST)
-  18" x 36" x 20" FIBER NODE (COMCAST)
-  40" x 40" COMCAST POWER SUPPLY
-  GAS — GAS — EXISTING GAS MAIN TO REMAIN
-  EXJT — EXISTING JOINT TRENCH TO REMAIN
-  (E)OH — (E)OH — EXISTING OVERHEAD TO REMAIN
-  ELEC — EXISTING ELECTRIC TO REMAIN
-  TELE — EXISTING PHONE TO REMAIN

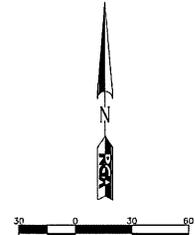
NOTE:
SEE SILICON VALLEY POWER UG-1000 FOR SPECIFICATIONS.
SILICON VALLEY POWER OWNS AND MAINTAINS PRIMARY AND TRANSFORMER, CUSTOMER OWNS SERVICE.

NOTE TO COMCAST:
PLEASE CONFIRM WHO WILL PROVIDE CONDUIT AND VAULTS. DEVELOPER TO PROVIDE TRENCH.

SUBSTRUCTURE LOCATIONS MUST BE STAKED BY A LICENSED SURVEYOR PRIOR TO CONSTRUCTION

PRELIMINARY
NOT FOR CONSTRUCTION

Sheet Index
JT-1 JOINT TRENCH TITLE SHEET
JT-2 JOINT TRENCH INTENT



PROJECT NO: 14-613
 SCALE: 1" = 30'
 DRAWN BY: D. HAYES
 CHECKED BY: F. QANG
 DATE PLOTTED: 06-30-2017
 DRAWING NO: JT-2
 SHEET: 2 OF 2

RGA Design
 UTILITY CONSULTANTS & ENGINEERS - STREETLIGHT DESIGN
 400 VILLAGE PARKWAY, SUITE 200 DUBLIN, CA 94568
 TEL: (925) 835-2900

JOINT TRENCH INTENT
 2240 & 2232 EL CAMINO REAL
 SUMMERHILL APARTMENTS
 SANTA CLARA
 CALIFORNIA