



City Council Meeting

El Camino Real Specific Plan – Study Session

February 5, 2019



El Camino Real Specific Plan

Status Update Purpose

Update the City Council on the progress of the El Camino Real Specific Plan process and present the information that will be used to commence the environmental review (CEQA) process.

Agenda:

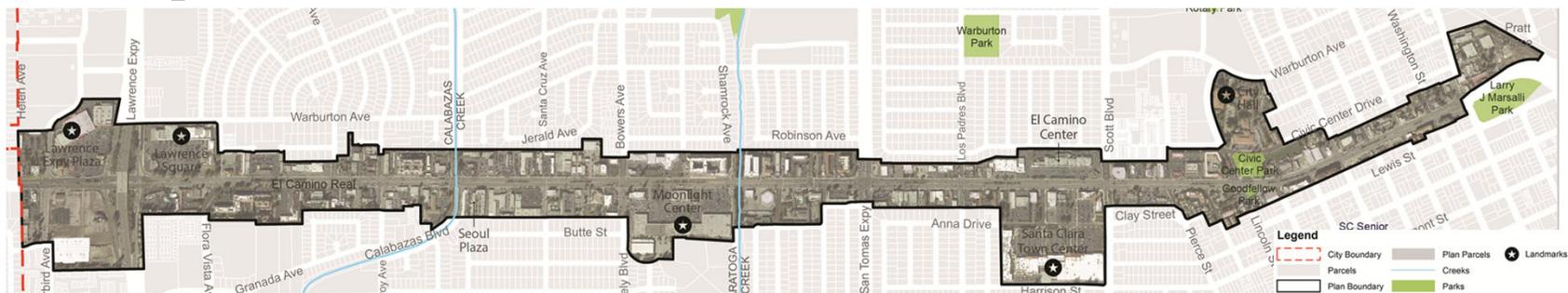
1. Project Overview
2. Land Use Diagram
3. Neighborhood Transitions
4. Community Benefits
5. Transportation Network
6. Next Steps



El Camino Real Specific Plan

Planning Process Objectives

- Refine and implement the 2035 General Plan vision for the area.
- Create goals, policies, and design standards.
- Address required specific plan topics such as land use, transportation, and infrastructure.





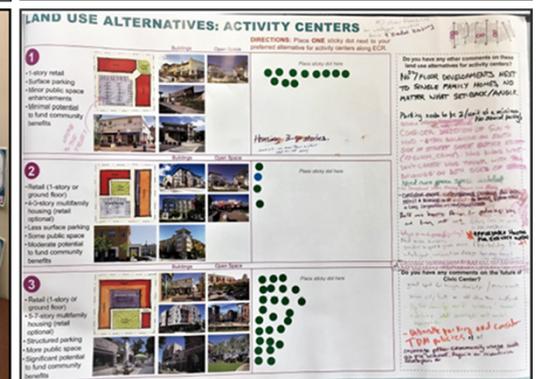
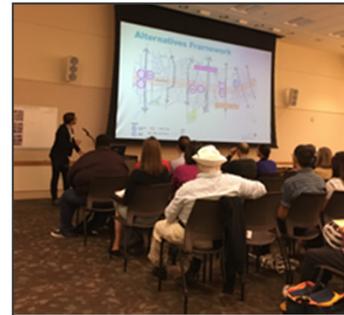
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El Camino Real Specific Plan

Community Outreach

September 2017 to December 2018:

- 3 Community Workshops
- 5 Pop-Up Events
- 2 Online Surveys
- 4 Community Advisory Committee (CAC) Meetings





El Camino Real Specific Plan

Land Use Framework





El Camino Real Specific Plan

Draft Land Use Plan





El Camino Real Specific Plan

Draft Land Use Plan

The draft Land Use Plan could accommodate:

	Residential Units	Commercial Square Feet
Draft Land Use Plan Capacity*	6,677	425,229
Pending Development Applications	327	32,306
Total	7,004	457,535

* The General Plan currently identifies capacity to build 2,274 units within the El Camino Real Focus Area, of which 1,142 units have been approved and/or built. A maximum of 4,403 units would be added through the draft Land Use Plan.



El Camino Real Specific Plan

Draft Land Use Designations

Regional Commercial

- Commercial Required: 0.20 FAR
- Residential: 55-100 DU/AC
- Building Height: 5-6 Stories



Community Mixed Use

- Commercial Allowed, Not Required
- Residential: 35-65 DU/AC
- Building Height: 4-5 Stories



Medium Density Residential

- Residential Emphasis; Commercial Allowed
- Residential: 16-35 DU/AC
- Building Height: 3-4 Stories





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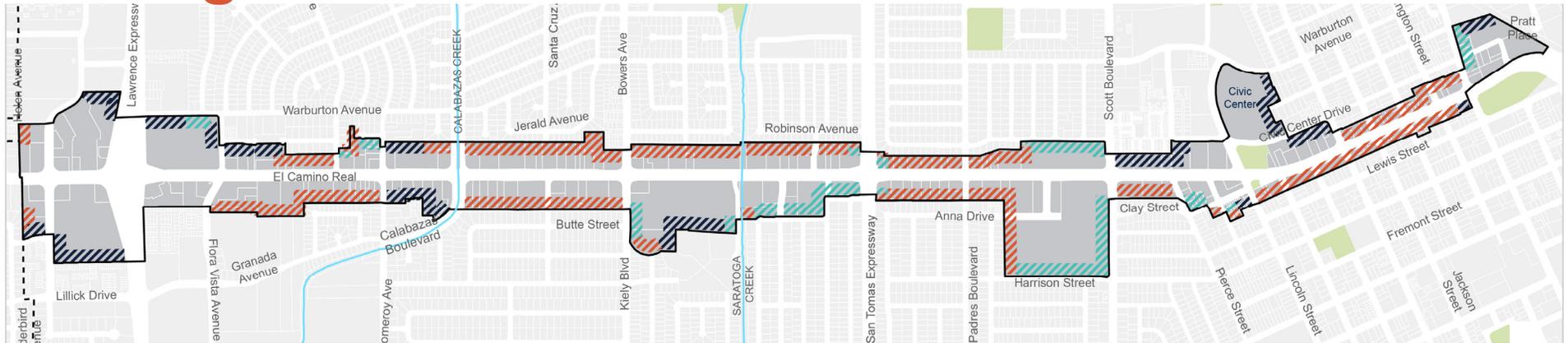
Community Advisory Committee Feedback

- Draft Land Use Plan presented for CAC feedback at their December 2018 meeting.
 - Supported draft with the exception of Mariani Inn site.
 - Require more ground floor commercial somewhere between Lincoln Street and Lafayette Street and at Calabazas Boulevard.



El Camino Real Specific Plan

Neighborhood Transitions



Legend

- | | | | | | |
|--|---------------|--|--------------|--|--|
| | City Boundary | | Plan Parcels | | Directly abuts a single-family residential parcel |
| | Parcels | | Creeks | | Across the street from a single-family residential parcel |
| | Plan Boundary | | Parks | | Directly abuts or across the street from a multi-family residential parcel |



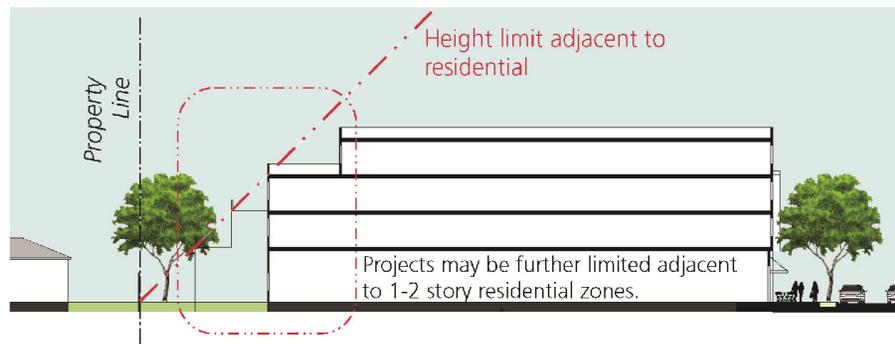
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Neighborhood Transitions

- Standards for development directly abutting residential parcels

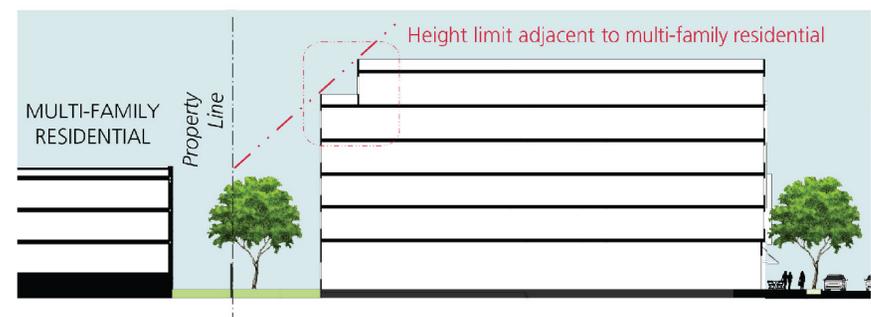
DIRECTLY ABUTTING SINGLE-FAMILY RESIDENTIAL

Maximum height adjacent to residential



ABUTTING/ACROSS FROM MULTI-FAMILY RESIDENTIAL

Maximum height across residential street





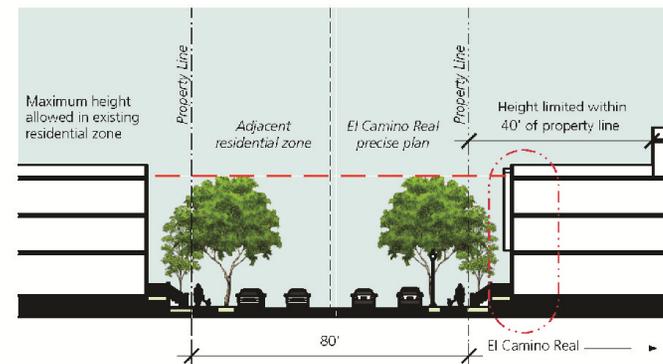
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Neighborhood Transitions

- Standards for development directly across the street from residential parcels

ACROSS THE STREET FROM RESIDENTIAL

Maximum height across residential street





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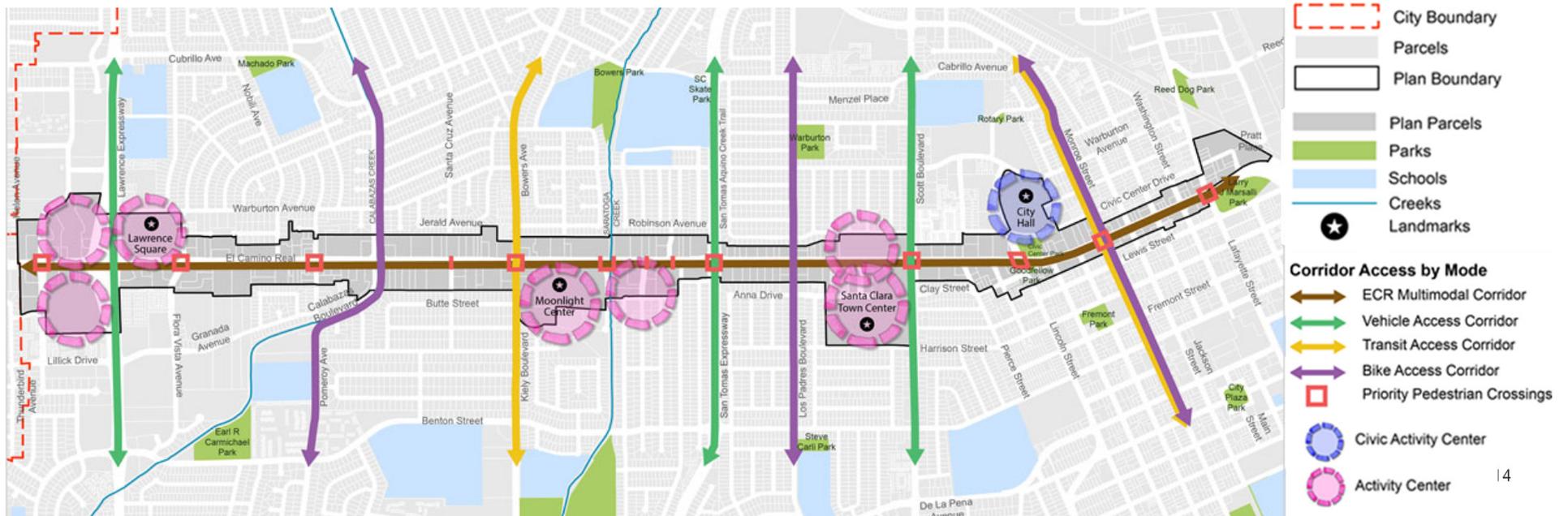
Community Benefits

- Developer provides additional community benefits in exchange for additional development value, such as:
 - an increase in residential density
 - residential development with no commercial requirement
- Explore this implementation strategy as an option, and engage with the CAC as a next step.



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Transportation Network

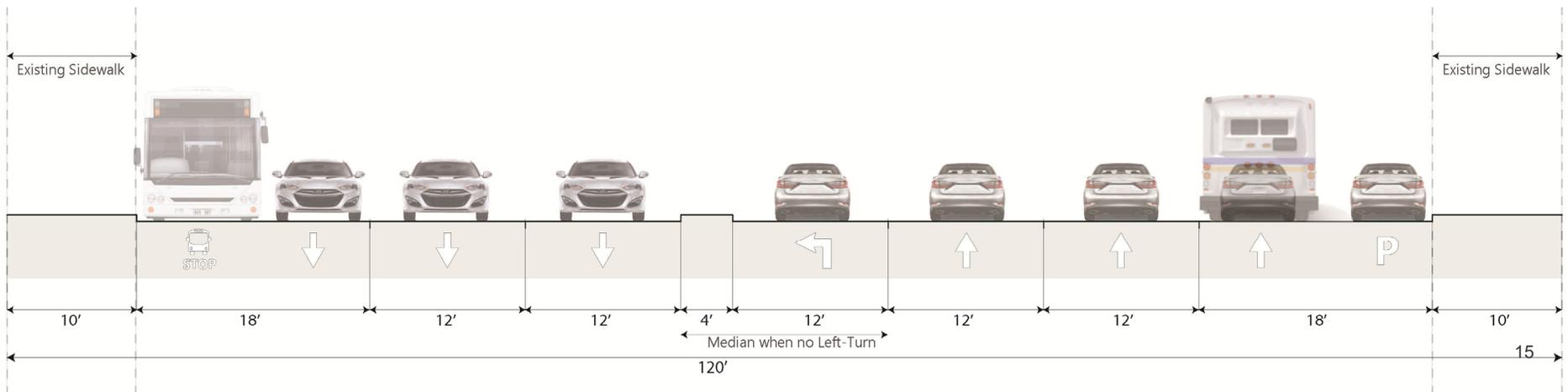




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Existing Right-of-Way

- 3 travel lanes with left-turn lane, on-street parking and bus boarding





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Outreach Summary

Desired Streetscape Outcomes

- Landscaping and Street Trees
- More Walkable Environment
- Better Mobility and Connections
- Pedestrian Safety





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Outreach Summary

Desired Streetscape Outcomes

- More Transportation Options – Bicycle Facilities
- Vehicle Circulation
- Parking
- Beautification





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Community Outreach Summary

Desired Right-of-Way Outcomes

- Workshops #2 and #3, Online Survey #2, Art & Wine Festival:
 - Mixed support for removal of parking or travel lanes to improve bicycle and transit facilities.
- Community Advisory Committee:
 - General consensus support for Alternative 2A



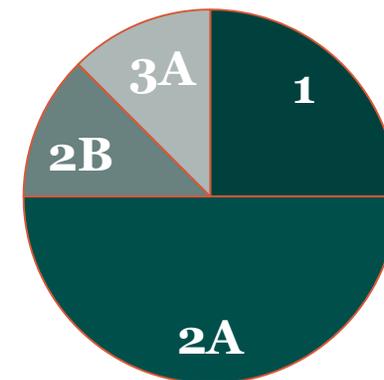
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Community Outreach Summary

Desired Right-of-Way Outcomes

- 1** : Existing conditions
- 2A** : Remove on-street parking, protected bike lane, bus boarding island
- 2B** : Remove on-street parking, bike lane, bus pull-out
- 3A** : Remove travel lane(s), widen center median and sidewalks, add bulb outs

R-O-W Alternatives



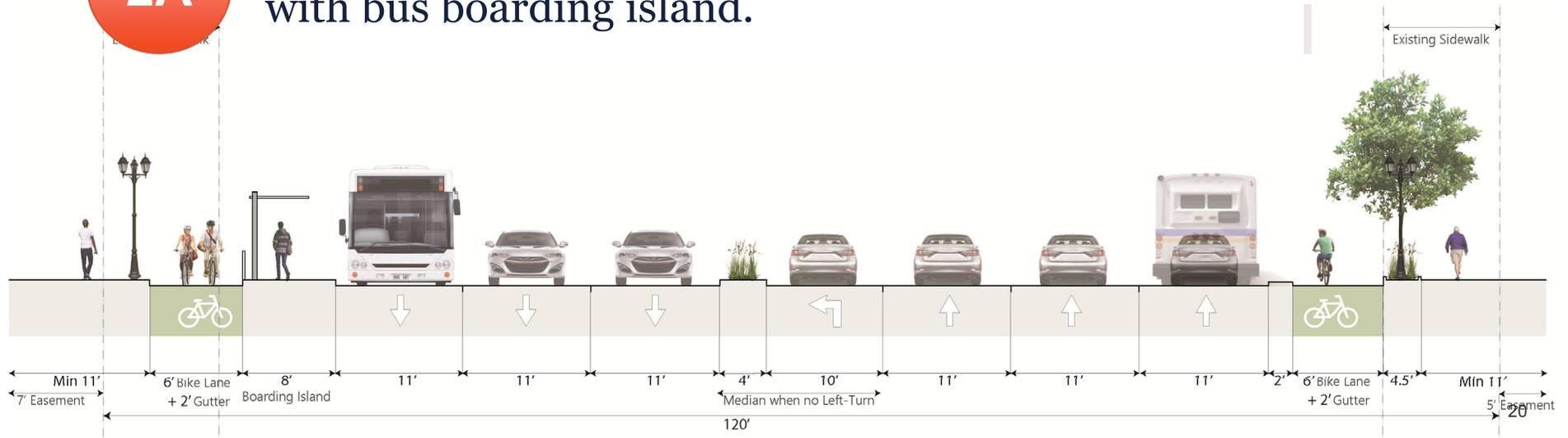


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R-O-W Alternatives

2A

Remove on-street parking to accommodate buffered bike lane with bus boarding island.

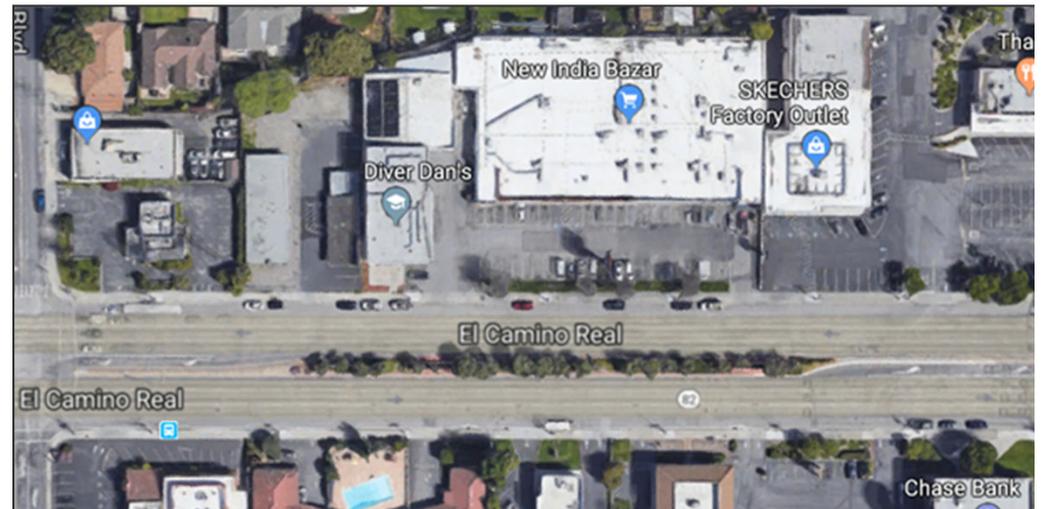




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Parking Survey – Preliminary Outcomes

- 446 on-street parking spaces along El Camino Real
- On average 31% of on-street parking spaces are utilized
- Some properties do not have enough on-site parking to meet their overall needs





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Parking Survey – Preliminary Outcomes

- Implementation of a bike lane:
 - Require the removal of parking spaces
 - Likely to be phased
 - Modifications of the curb to curb would require Caltrans approval





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Project Timeline – Next Steps

