



SANTA CLARA HILTON

GENERAL PLAN AMENDMENT

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FEBRUARY 25, 2020



2019 CALIFORNIA GREEN BUILDING CODE CHECKLIST FOR NEW NONRESIDENTIAL

THIS PROJECT WILL COMPLY WITH THE FOLLOWING MANDATORY MEASURES (WHERE APPLICABLE)

SECTION 5.106 SITE DEVELOPMENT

5.106.1 STORM WATER POLLUTION PREVENTION. Newly constructed projects and additions which disturb less than one acre of land shall prevent the pollution of storm water runoff from the construction activities through local ordinance per CFC 5.106.1.1 or Best Management Practices (BMP) per CGC 5.106.1.2.

5.106.4.1.1 SHORT-TERM BICYCLE PARKING. If the project or an addition or alteration is anticipated to generate visitor traffic, provide permanently anchored bicycle racks within 200 feet of the visitors' entrance, readily visible to passers-by, for 5% of new visitor motorized vehicle parking spaces being added, with a minimum of one two-bike capacity rack per CGC 5.106.4.1.

5.106.4.1.2 LONG-TERM BICYCLE PARKING. For new buildings with 10 or more tenant-occupants, provide secure bicycle parking for 5 percent of the tenant vehicle parking spaces being added, with a minimum of one space per CGC 5.106.4.2.

5.106.5.2 DESIGNATED PARKING FOR CLEAN AIR VEHICLES. Provide designated parking for any combination of low-emitting, fuel-efficient and carpool/van pool vehicles as shown in Table 5.106.5.2. Parking stall marking shall comply with CGC 5.106.5.2.

5.106.5.3 ELECTRIC VEHICLE (EV) CHARGING. Provide capability to facilitate future installation of electric vehicle supply equipment (EVSE) per Section 5.106.5.3.

5.106.8 LIGHT POLLUTION REDUCTION. Outdoor lighting systems shall be designed and installed to comply with the requirements in the California Energy Code and in compliance with CGC 5.106.8.

5.106.10 GRADING AND PAVING. Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include those shown in Items 1-5 per CGC 5.106.10.

DIVISION 5.3 WATER EFFICIENCY AND CONSERVATION

SECTION 5.303 INDOOR WATER USE

5.303.1 METERS. Separate submeters or metering devices shall be installed for the uses described in Sections 5.303.1.1 and 5.303.1.2.

5.303.1.1 BUILDINGS IN EXCESS OF 50,000 SQUARE FEET. Separate submeters shall be installed as follows:

- For each individual leased, rented or other tenant space within the building projected to consume more than 100 gal/day (380 L/day), including, but not limited to, spaces used for laundry or cleaners, restaurant or food service, medical or dental office, laboratory, or beauty salon or barber shop.
- Where separate submeters for individual building tenants are unfeasible, for water supplied to the following subsystems:
 - Makeup water for cooling towers where flow through is greater than 500 gpm (30 L/s).
 - Makeup water for evaporative coolers greater than 6 gpm (0.04 L/s).
 - Steam and hot water boilers with energy input more than 500,000 Btu/h (147 kW).

5.303.1.2 EXCESS CONSUMPTION. A separate submeter or metering device shall be provided for any tenant within a new building or within an addition that is projected to consume more than 1,000 gal/day.

5.303.3 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the prescriptive reduced flow rates specified in CGC 5.303.3.1 through 5.303.3.3.

5.303.4 COMMERCIAL KITCHEN EQUIPMENT.

5.303.4.1 FOOD WASTE DISPOSERS. Disposers shall either modulate the use of water to no more than 1 gpm when the disposer is not in use (not actively grinding food waste/no-load) or shall automatically shut off after no more than 10 minutes of inactivity. Disposers shall use no more than 8 gpm of water.

5.303.6 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code and in Chapter 6 of CGC.

SECTION 5.304 OUTDOOR WATER USE

5.304.2 OUTDOOR WATER USE IN LANDSCAPE AREAS EQUAL TO OR GREATER THAN 500 SQUARE FEET. Shall comply with CGC 5.304.2.

5.304.3 OUTDOOR WATER USE IN REHABILITATED LANDSCAPE PROJECTS EQUAL TO OR GREATER THAN 2,500 SQUARE FEET. Shall comply with CGC 5.304.3.

5.304.4 OUTDOOR WATER USE IN LANDSCAPE AREAS OF 2,500 SQUARE FEET OR LESS. Shall comply with CGC 5.304.4.

5.304.5 GRAYWATER OR RAINWATER USE IN LANDSCAPE AREAS. Shall comply with CGC 5.304.5.

SECTION 5.407 WATER RESISTANCE AND MOISTURE MANAGEMENT

5.407.1 WEATHER PROTECTION. Provide a weather-resistant exterior wall and foundation envelope as required by California Building Code Section 1403.2 (Weather Protection) and California Energy Code Section 150, (Mandatory Features and Devices), manufacturer's installation instructions or local ordinance, whichever is more stringent per CGC 5.407.1.

5.407.2 MOISTURE CONTROL. Employ moisture control measures by the following methods:

5.407.2.1 SPRINKLERS. Prevent irrigation spray on structures per CGC 5.407.2.1.

5.407.2.2 ENTRIES AND OPENINGS. Design exterior entries and openings to prevent water intrusion into buildings per CGC 5.407.2.2.

SECTION 5.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

5.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65% of the non-hazardous construction and demolition waste in accordance with Section 5.408.1.1, 5.408.1.2 or 5.408.1.3; or meet a local construction and demolition waste management ordinance, whichever is more stringent (CGC 5.408.1).

5.408.3 EXCAVATED SOIL AND LAND CLEARING DEBRIS. 100 percent of trees, stumps, rocks and associated vegetation and soils resulting primarily from land clearing shall be reused or recycle per CBC 5.408.3.

SECTION 5.410 BUILDING MAINTENANCE AND OPERATIONS

5.410.1 RECYCLING BY OCCUPANTS. Provide readily accessible areas that serve the entire building and are identified for the depositing, storage and collection of non-hazardous materials for recycling per CGC 5.410.1.

5.410.2 COMMISSIONING. For new buildings 10,000 square feet and over, building commissioning for all building systems covered by T24, Part 6, process systems and renewable energy systems shall be included in the design and construction processes of the building project. Commissioning requirements shall include items listed in Section 5.410.2.

5.410.4 TESTING AND ADJUSTING. Testing and adjusting of systems shall be required for buildings less than 10,000 square feet or new systems to serve an addition or alteration subject to Section 303.1.

5.410.4.4 REPORTING. After completion of testing, adjusting and balancing, provide a final report of testing signed by the individual responsible for performing these services.

5.410.4.5 OPERATION AND MAINTENANCE (O & M) MANUAL. Provide the building owner or representative with detailed operating and maintenance instructions and copies of warranties/warranties for each system. O & M instructions shall be consistent with OSHA requirements in CCR, Title 8, Section 5142, and other related regulations.

5.410.4.5.1 INSPECTIONS AND REPORTS. Include a copy of all inspection verifications and reports required by the enforcing agency.

DIVISION 5.5 ENVIRONMENTAL QUALITY

SECTION 5.504 POLLUTANT CONTROL

5.504.1 TEMPORARY VENTILATION. The permanent HVAC system shall only be used during construction if necessary to condition the building within the required temperature range for material and equipment installation. If the HVAC system is used during construction, use return air filters with a Minimum Efficiency Reporting Value (MERV) of 8, based on ASHRAE 52.2-1999, or an average efficiency of 30% based on ASHRAE 52.1-1992. Replace all filters immediately prior to occupancy. (CGC 5.504.1.)

5.504.3 COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, or during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of dust or debris which may collect in the system per CGC 5.504.3.

5.504.4 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with Sections 5.504.4.1 through 5.504.4.6.

5.504.4.1 Adhesives, sealants and caulks. Adhesives, sealants, and caulks used on the project shall meet the requirements of the standards listed in CGC 5.504.4.1.

5.504.4.3 PAINTS AND COATINGS. Architectural paints and coatings shall comply with Table 5.504.4.3, unless more stringent local limits apply.

5.504.4.3.2 VERIFICATION. Verification of compliance with this section shall be provided at the request of the enforcing agency per CGC 5.504.4.3.2.

5.504.4.4 CARPET SYSTEMS. All carpet installed in the building interior shall meet at least one of the testing and product requirements of one of the standards listed in Section 5.504.4.4.

5.504.4.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in Table 5.504.4.5.

5.504.4.5.3 VERIFICATION. Verification of compliance with this section shall be provided as requested by the enforcing agency per CGC 5.504.4.5.3.

5.504.4.6 RESILIENT FLOORING SYSTEMS. For 80 percent of floor area receiving resilient flooring, installed resilient flooring shall comply with CGC 5.504.4.6.

5.504.4.6.1 VERIFICATION OF COMPLIANCE. Documentation shall be provided verifying that resilient flooring materials meet the pollutant emission limits per CGC 5.504.4.6.1.

5.504.5.3 FILTERS. In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration media for outside and return air that provides at least a Minimum Efficiency Reporting Value (MERV) of 8. MERV 8 filters shall be installed prior to occupancy, and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual per CBC 5.504.5.3.

5.504.7 ENVIRONMENTAL TOBACCO SMOKE (ETS) CONTROL. Prohibit smoking within 25 feet of building entries, outdoor air intakes and operable windows where outdoor areas are provided for smoking and within the building as already prohibited by other laws, regulations or policies, whichever are more stringent, per CGC 5.504.7.

SECTION 5.505 INDOOR MOISTURE CONTROL

5.505.1 INDOOR MOISTURE CONTROL. Buildings shall meet or exceed the provisions of California Building Code, CCR, Title 24, Part 2, Sections 1203 (Ventilation) and Chapter 14 (Exterior Walls), (CGC 5.504.7)

SECTION 5.506 INDOOR AIR QUALITY

5.506.1 OUTSIDE AIR DELIVERY. For mechanically or naturally ventilated spaces in buildings, meet the minimum requirements of Section 120.1 (Requirements For Ventilation) of the California Energy Code and Chapter 4 of CCR, Title 8 or the applicable local code, whichever is more stringent, per CGC 5.506.1.

5.506.2 CARBON DIOXIDE (CO2) MONITORING. For buildings equipped with demand control ventilation, CO2 sensors and ventilation controls shall be specified and installed in accordance with the requirements of the California Energy Code, Section 120(c)(4), per CGC 5.506.2.

SECTION 5.507 ENVIRONMENTAL COMFORT

5.507.4 ACOUSTICAL CONTROL. Employ building assemblies and components with Sound Transmission Class (STC) values determined in accordance with ASTM E 90 and ASTM E 413, or Outdoor-Indoor Sound Transmission Class (OITC) determined in accordance with ASTM E 1332, using either the prescriptive or performance method in Section 5.507.4.1 or 5.507.4.2.

5.507.4.3 INTERIOR SOUND TRANSMISSION. Wall and floor-ceiling assemblies separating tenant spaces and public places shall have an STC of at least 40 (CGC 5.507.4.3).

SECTION 5.508 OUTDOOR AIR QUALITY

5.508.1 OZONE DEPLETION AND GREENHOUSE GAS REDUCTIONS. Installations of HVAC, refrigeration and fire suppression equipment shall comply with Sections 5.508.1.1 and 5.508.1.2.

PARKING MATRIX

FLOOR / LEVEL	STD.	COMPACT	VALET AISLE SPACES	CHARGE	CLEAN AIR/ CARPOOL/ EV	ACCESS. VAN	ACCESS. STD.	TOTAL
SITE EXIST	160 SP	112 SP	-	-	-	2 SP	6 SP	280 SP
SITE ADDED	15 SP	-	-	-	-	-	-	15 SP
SITE REMOVED	(72 SP)	(37 SP)	-	-	-	-	-	(109 SP)
SITE TOTAL:	103 SP	75 SP	-	-	-	2 SP	6 SP	186 SP
LEVEL 1	7 SP	-	-	5 SP*	3 SP	2 SP	-	17 SP
LEVEL 2	27 SP	1 SP	10 SP	2 SP	4 SP	-	1 SP	45 SP
LEVEL 3	27 SP	1 SP	10 SP	2 SP	4 SP	-	1 SP	45 SP
LEVEL 4	28 SP	1 SP	10 SP	2 SP	3 SP	-	1 SP	45 SP
LEVEL 5	28 SP	1 SP	9 SP	2 SP	3 SP	-	1 SP	44 SP
LEVEL 6	28 SP	1 SP	9 SP	2 SP	3 SP	-	1 SP	44 SP
LEVEL 7	28 SP	1 SP	9 SP	2 SP	3 SP	-	1 SP	44 SP
PROPOSED HOTEL TOTAL:	173 SP	6 SP	57 SP	17 SP	23 SP	2 SP	6 SP	284 SP
OVERALL TOTAL:								470 SP

ALL PARKING SHALL BE VALET PER WALKER CONSULTANTS PARKING STUDY (JANUARY 23,2020).

*FOR PURPOSES OF CBC, CH 11B, ACCESSIBLE EV SPACES ARE NOT INCLUDED IN ACCESSIBLE PARKING SPACES COUNT PER CBC 11B-208.1. (2) ACCESSIBLE EV SPACES HAVE BEEN PROVIDED.

CLEAN AIR SPACES REQUIRED: 284 SP. X .08 = 22.7, THEREFORE 23 SPACES
EV CHARGING SPACES REQUIRED: 284 SP. X .06 = 17.0, THEREFORE 17 SPACES (INCL. 1 STD. ACCESS. AND 1 VAN ACCESS. SPACES)

BICYCLE PARKING:

SHORT TERM: 284 SP x .05 = 14.2, THEREFORE 15 BICYCLE PARKING SPACES
LONG TERM: 284 SP x .05 = 14.2, THEREFORE 15 BICYCLE PARKING SPACES

PROJECT DESCRIPTION

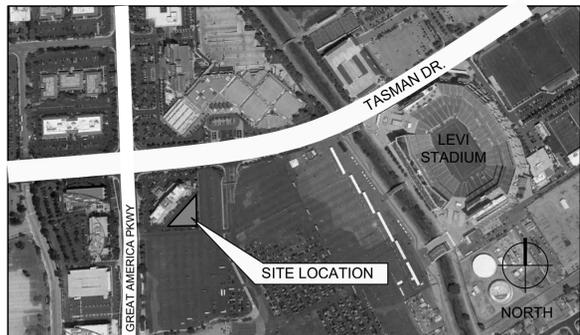
THE PROPOSED PROJECT CONSISTS OF A 22 STORY MIXED-USE HIGH RISE HOTEL BUILDING. THE BUILDING WILL INCLUDE A GROUND FLOOR LOBBY, 7 LEVELS OF PARKING, 12 GUESTROOM STORIES, 1 MECHANICAL STORY, AND ROOFTOP RESTAURANT / OBSERVATION DECK.

PROJECT SUMMARY

ADDRESS:	4949 GREAT AMERICA PARKWAY SANTA CLARA, CA 95054
APN:	104-43-039
LEGAL DESC.:	LOT 1, PARCEL A BK 543, MAP 50 PORTION OF APN 104-43-039 (1997-98)
LOT EXIST SIZE:	3.862 ACRES (168,247 SF)
EXIST. HOTEL SF.:	169,768 SF
LOT COVERAGE %:	EXIST. HOTEL GROUND FLR.: 32,483 SF. PROPOSED BLDG.: 18,598 SF. PROPOSED COVERED WALKWAY: 581 SF. TOTAL FOOTPRINT: 51,662 SF.
AREA OF NEW WORK:	51,662 / 168,247 x 100 = 30.7% 1.002 ACRES (43,642 SF)
EXISTING USE:	EXISTING HOTEL PARKING LOT
ZONING:	COMMUNITY PARK ZONING DISTRICT (CP)
CODES:	2019 CBC, CITY OF SANTA CLARA MUNICIPAL CODE
PROPOSED BUILDING:	
OCCUPANCY TYPE:	R-1 (HOTEL) S-1 (HOUSE KEEPING) S-2 (PARKING, REFUSE AREA) A-2 (KITCHEN, RESTAURANT, ROOF DECK) B (FIRE CONTROL CTR, FITNESS RM, ELECTRICAL) H-3 (GENERATOR)
CONST. TYPE:	TYPE IA
SPRINKLERED?:	YES
# OF STORIES:	22
BLDG. HT.:	237'-2" (239'-6" MAX. HT.)
GUESTROOMS:	319 ROOMS
NEW HOTEL BLDG SF.:	GROUND FL.: 18,598 SF. FLOORS 2-7: 107,958 SF. (17,993 SF./FLR.) FLOOR 8 (POOL, GYM): 13,172 SF. FLOORS 9-20 (EA.): 147,672 SF. (12,306 SF./FLR) MECH. FL.: 12,306 SF. REST. / OBSERV.: 6,657 SF. TOTAL: 306,363 SF.
WALKWAY SF.:	581 SF
FAR	169,768 SF. + 303,363 SF. - (12,306 MECH SF.) + 581 SF. / 168,247 SF. = 2.74
RESTAURANT SEAT #:	INDOOR : 2,774 SF. OUTDOOR DECK: 2,984 SF. TOTAL: 5,758 SF. ∴ SEATING: 5,785 X 1/15 = 384 OCC.
OUTDOOR STORAGE:	NO NEW DEDICATED OUTDOOR STORAGE PROPOSED

PROJECT LOCATION

N.T.S.



SHEET INDEX

33 SHEETS

NO.	SHEET TITLE
1	COVER SHEET
2	PROJECT DATA
3	SITE PLAN
4	GROUND FLOOR PLAN PARKING - LEVEL 1
5	PARKING - LEVELS 2-6
6	PARKING - LEVEL 7
7	GUESTROOMS AND AMENITIES - LEVEL 8
8	GUESTROOMS - LEVELS 9-20
9	RESTAURANT - LEVEL 22
10	ROOF PLAN
11	EXTERIOR ELEVATIONS - NORTH, WEST
12	EXTERIOR ELEVATIONS - SOUTH, EAST
13	BUILDING SECTIONS
14	MATERIALS

CIVIL

C1.0	COVER
C1.1	NOTES
C2.0	TOPOGRAPHIC SURVEY
C3.0	SITE PLAN
C4.0	PRELIMINARY GRADING PLAN
C5.0	PRELIMINARY UTILITY PLAN
C6.0	STORMWATER MANAGEMENT PLAN
C6.1	STORMWATER MANAGEMENT DETAILS AND NOTES
C7.0	FIRE ACCESS PLAN

LANDSCAPE

L1.C	LANDSCAPE SITE PLAN
L1.1	POOL TERRACE LANDSCAPE PLAN
L1.2	ROOF TERRACE LANDSCAPE PLAN
L1.3	LANDSCAPE PRECEDENT IMAGES
L2.0	SITE PLANTING PLAN
L3.0	SITE IRRIGATION PLAN

SIGNAGE

SG.1	SIGN LOCATION PLAN
SG.2	EXISTING SIGNAGE
SG.3	EXISTING SIGNAGE (CONT.)
SG.4	NEW / PROPOSED SIGNAGE

ISSUED FOR: PLANNING SUBMITTAL 1

DATE: FEB. 25, 2020

DEVELOPER
SC HOTEL
DEVELOPMENT LLC

PROJECT
GENERAL PLAN
AMENDMENT

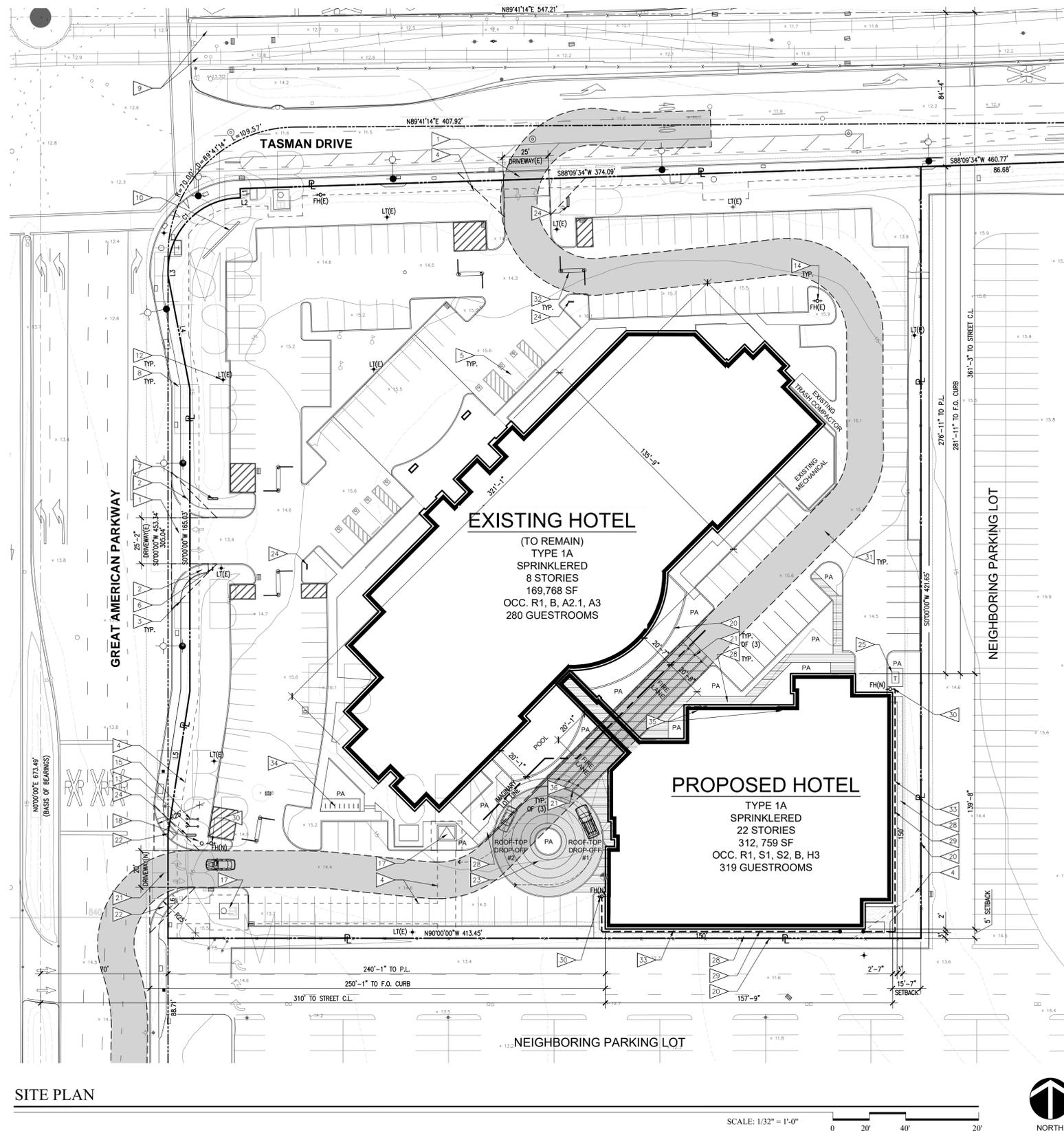
SANTA CLARA
HILTON
Santa Clara,
California

SHEET
PROJECT
DATA

SHEET NO.
2

PROJECT NO. 17-3601





SITE PLAN

SITE PLAN KEYED NOTES

1. EXISTING DRIVEWAY
2. EXISTING ACCESSIBLE CURB CUT RAMP PER CIVIL PLANS.
3. LINE OF SIGHT TRIANGLE PER CITY
4. EXISTING EASEMENT. SEE CIVIL
5. EXISTING OFF-STREET ACCESSIBLE PARKING STALLS
6. EXISTING PARKING SIGN
7. EXISTING SITE SIGNAGE
8. EXISTING PUBLIC SIDEWALK
9. EXISTING LIGHT RAIL LINE.
10. EXISTING MONUMENT SIGN.
11. EXISTING IRRIGATION BACK FLOW PREVENTOR VALVE.
12. EXISTING SITE LIGHTING FIXTURE
13. RELOCATED FIRE WATER BACK-FLOW PREVENTOR DEVICE. SEE CIVIL PLANS.
14. EXISTING FIRE HYDRANT
15. RELOCATED DOMESTIC WATER BACK-FLOW PREVENTOR DEVICE. SEE CIVIL PLANS.
16. (NOT USED)
17. EXISTING TRANSFORMER UNIT AND PAD, TO REMAIN.
18. RELOCATED PIV. SEE CIVIL PLANS.
19. EXISTING WALL
20. EXISTING FENCE PER LANDSCAPE PLANS.
21. NEW DRIVEWAY PER CIVIL
22. NEW ACCESSIBLE CURB CUT RAMP PER CIVIL PLANS.
23. NEW PASSENGER DROP-OFF AREA
24. NEW SITE / DIRECTIONAL SIGN.
25. NEW TRANSFORMER UNIT AND PAD
26. NEW BOLLARDS PER LANDSCAPE PLANS.
27. LINE OF CANOPY ABOVE
28. NEW HARDSCAPE PER LANDSCAPE
29. NEW PLANTING AREA
30. NEW FIRE HYDRANT
31. 20' WIDE FIRELANE
32. NEW PARKING GATE OPERATOR AND CURB. COORDINATE WITH FIRE DEPARTMENT ACCESS
33. FIRE HOSE PULL LENGTH; ≤150'
34. SHORT TERM BICYCLE PARKING, 15 SPACES; SEE SHEET 2
35. LONG TERM BICYCLE PARKING, 15 SPACES; SEE SHEET 2
36. FIRE TRUCK PASS THROUGH CORRIDOR, MINIMUM CLEAR HEIGHT 14'

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PROJECT
 GENERAL PLAN
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**SANTA CLARA
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 Santa Clara,
 California

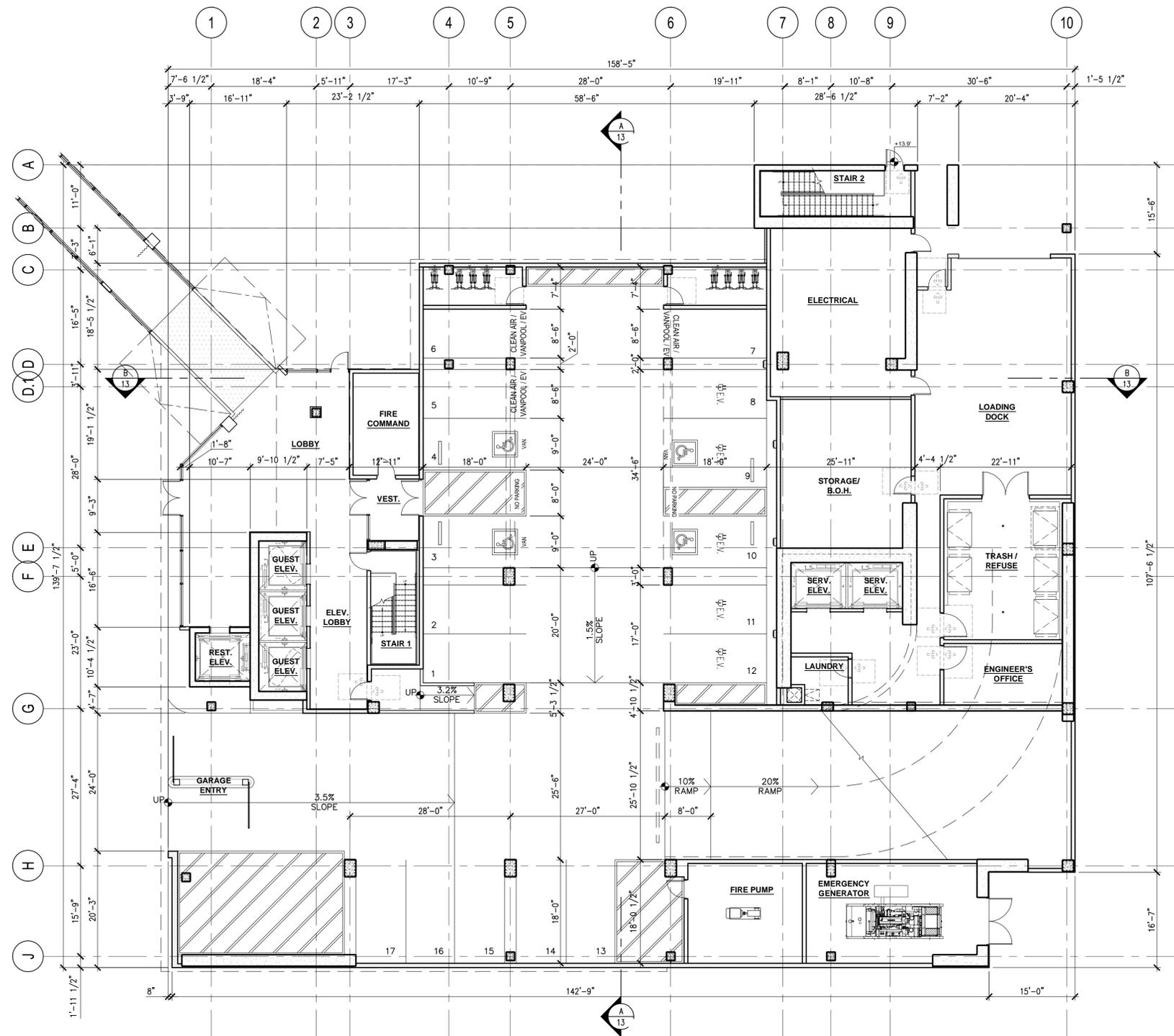
SHEET
 SITE PLAN

SHEET NO.
 3

ISSUED FOR: PLANNING SUBMITTAL 1
 DATE: FEB. 25, 2020

PROJECT NO. 17-3601





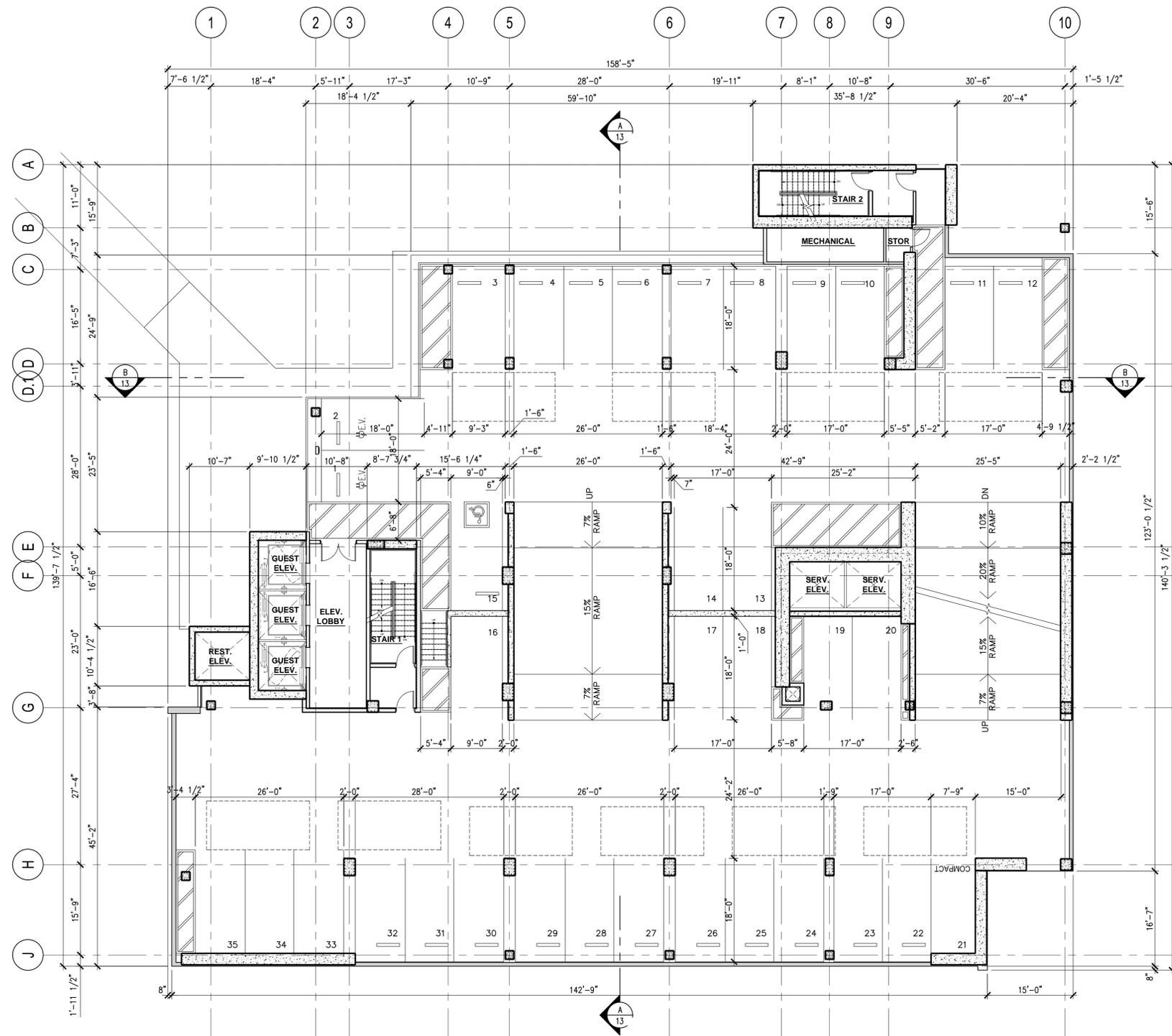
GROUND FLOOR PLAN - LEVEL 1

SCALE: 3/32" = 1'-0"
 0 5' 10' 20'



ISSUED FOR: PLANNING SUBMITTAL 1
 DATE: FEB. 25, 2020

PROJECT NO. 17-3601



PARKING - LEVELS 2-6

SCALE: 3/32" = 1'-0"
0 5' 10' 20'



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Santa Clara,
California

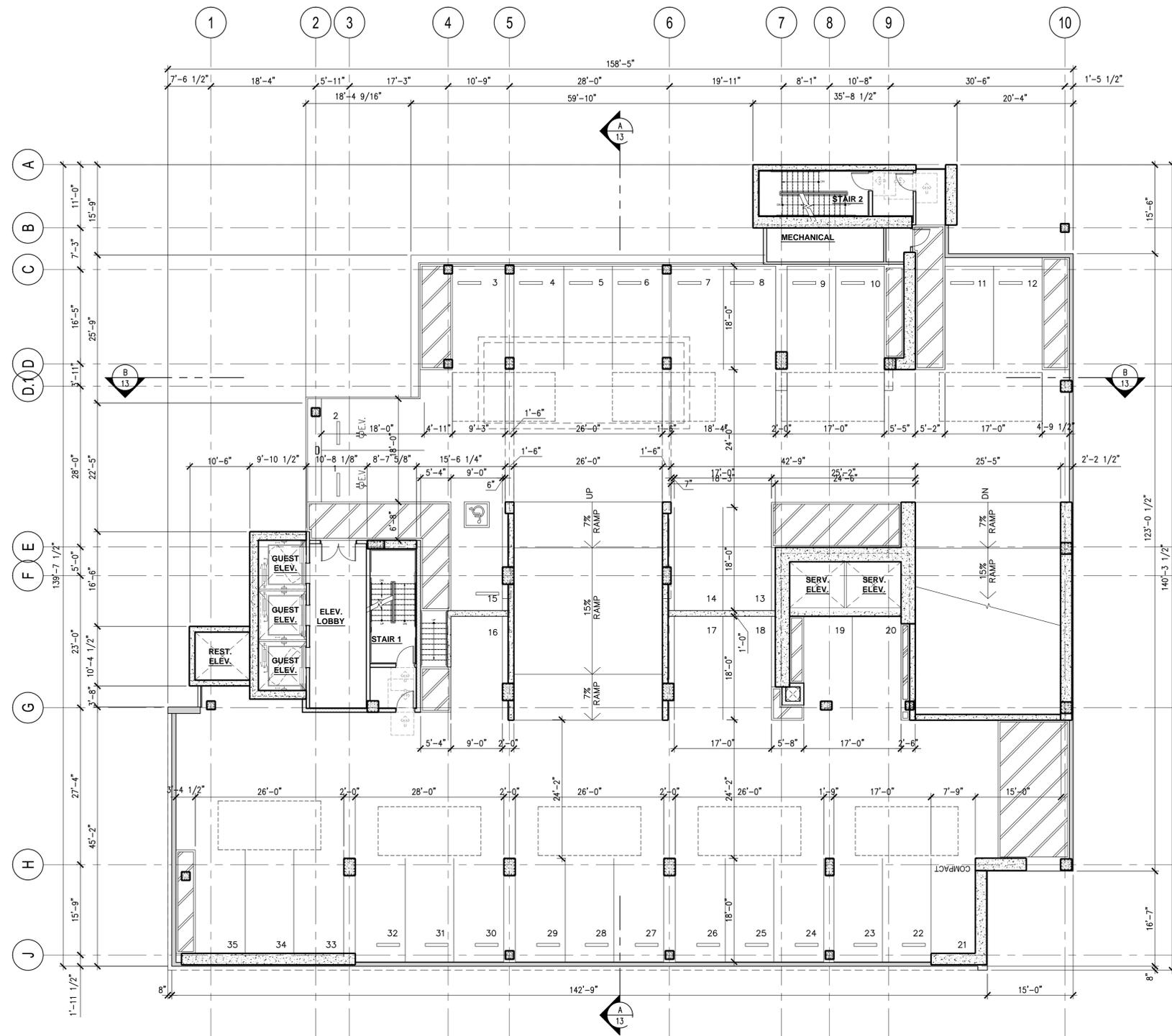
SHEET
PARKING
LEVELS 2-6

SHEET NO.
5

ISSUED FOR: PLANNING SUBMITTAL 1
DATE: FEB. 25, 2020

PROJECT NO. 17-3601





PARKING - LEVEL 7

SCALE: 3/32" = 1'-0"
 0 5' 10' 20'



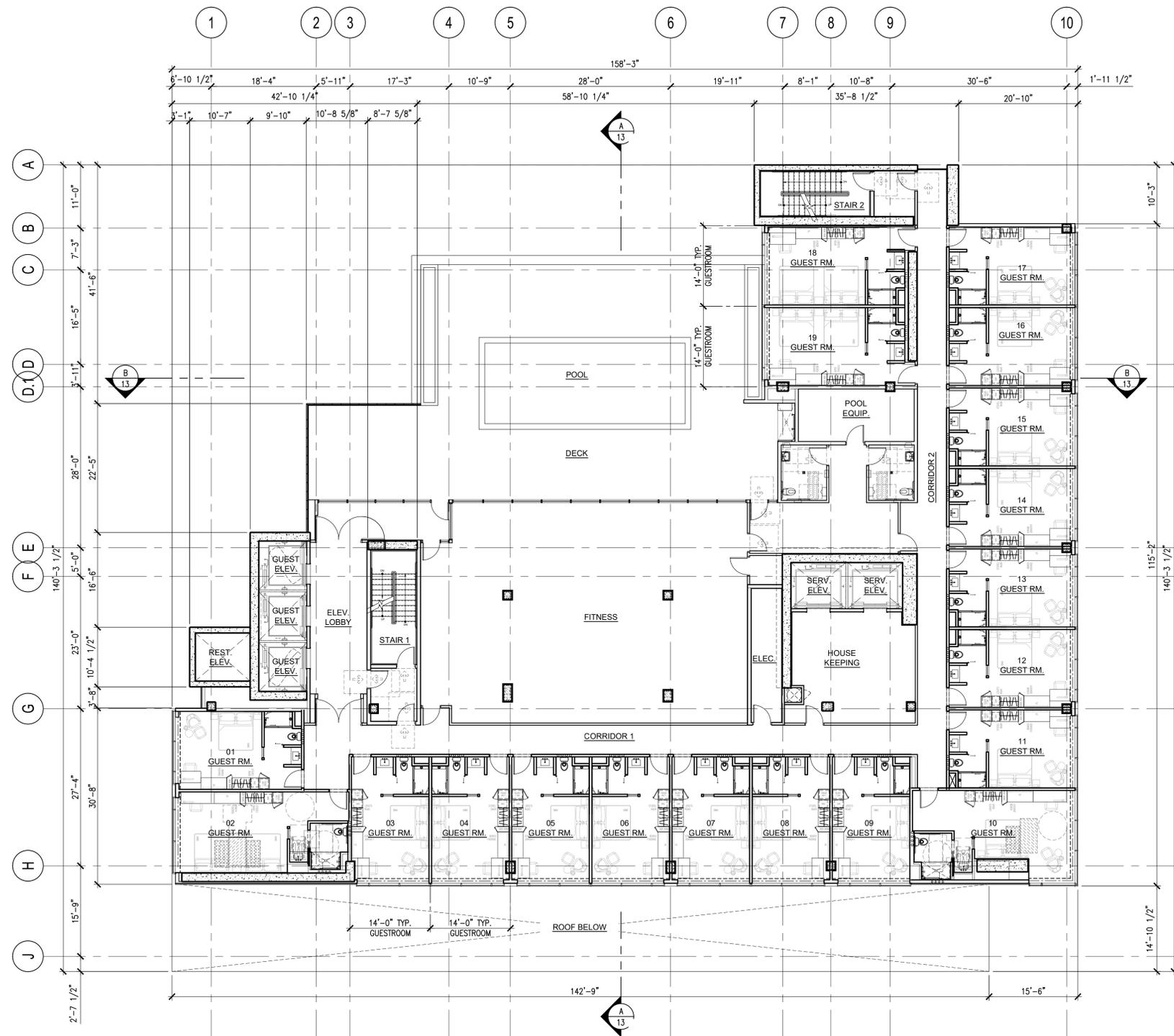
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 DATE: FEB. 25, 2020

SHEET
 PARKING
 LEVEL 7

SHEET NO.
 6

PROJECT NO. 17-3601





GUESTROOMS AND AMENITIES - LEVEL 8

SCALE: 3/32" = 1'-0"



ISSUED FOR: PLANNING SUBMITTAL 1
 DATE: FEB. 25, 2020

PROJECT NO. 17-3601



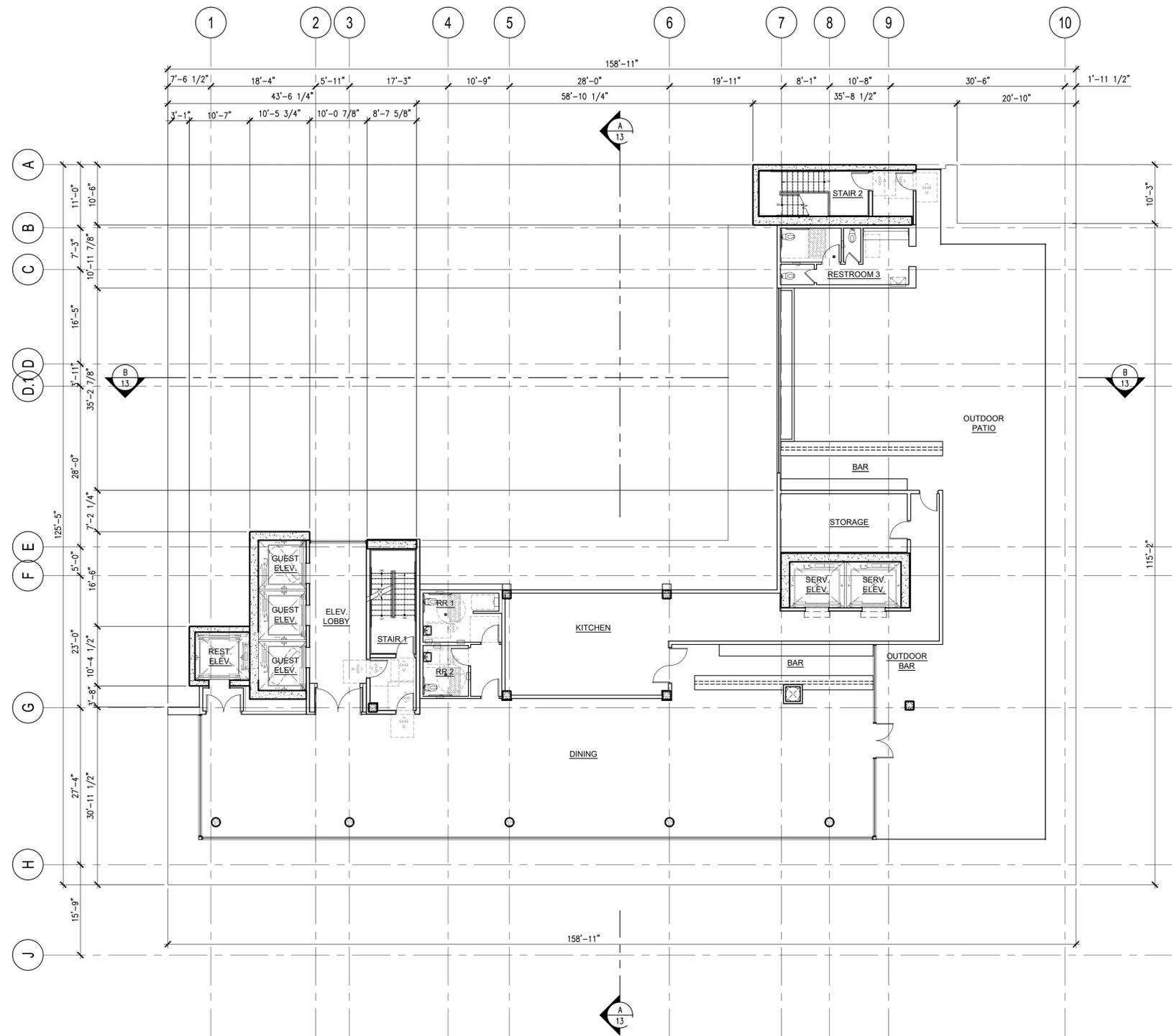
GUESTROOMS - LEVELS 9-20

SCALE: 3/32" = 1'-0"
 0 5' 10' 20'



ISSUED FOR: PLANNING SUBMITTAL 1
 DATE: FEB. 25, 2020

PROJECT NO. 17-3601



RESTAURANT - LEVEL 22

SCALE: 3/32" = 1'-0"



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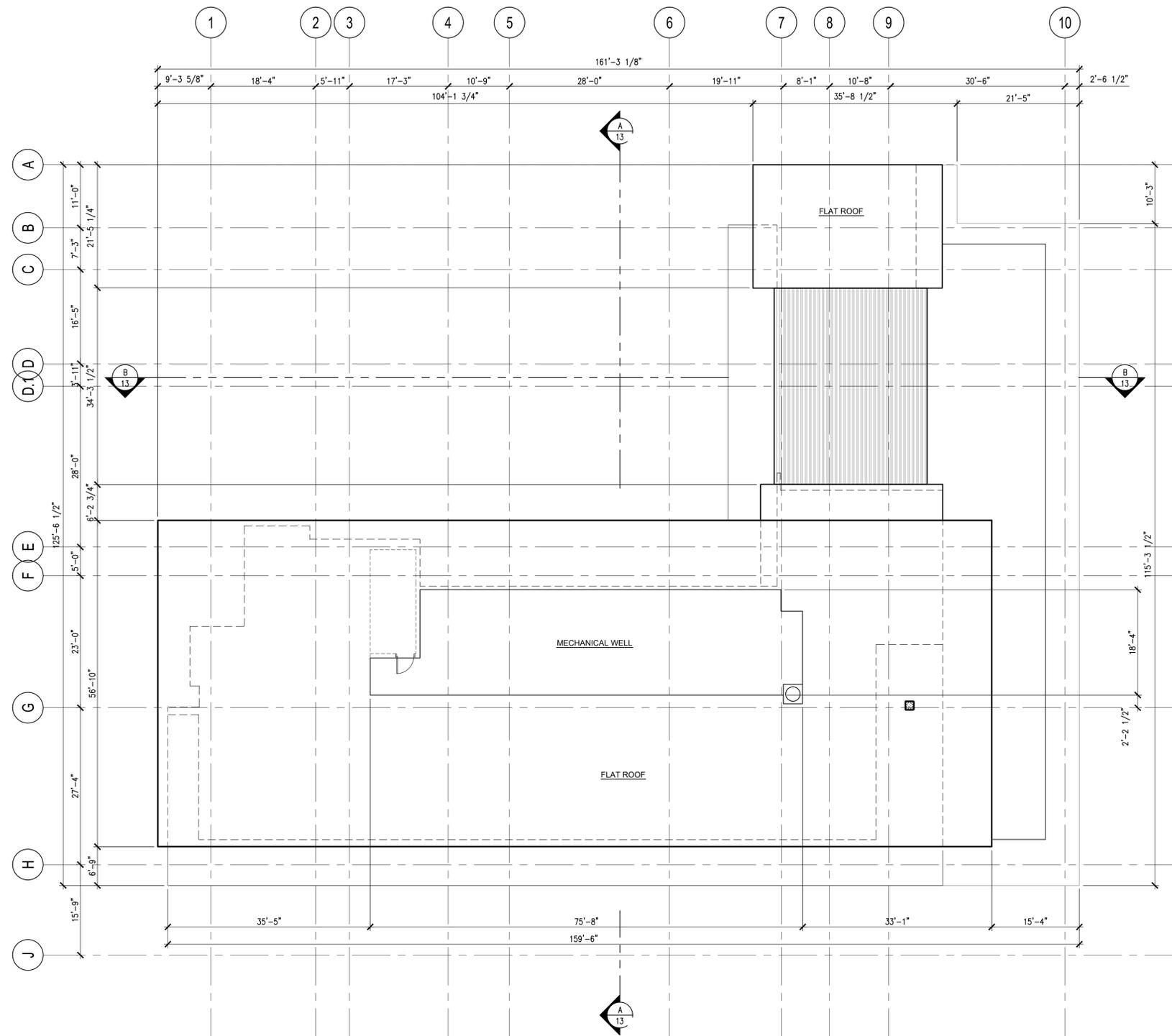
SHEET
RESTAURANT
LEVEL 22

SHEET NO.
9

ISSUED FOR: PLANNING SUBMITTAL 1
DATE: FEB. 25, 2020

PROJECT NO. 17-3601





ROOF

SCALE: 3/32" = 1'-0"
 0 5' 10' 20'



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SANTA CLARA
 HILTON
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 California

SHEET

ROOF

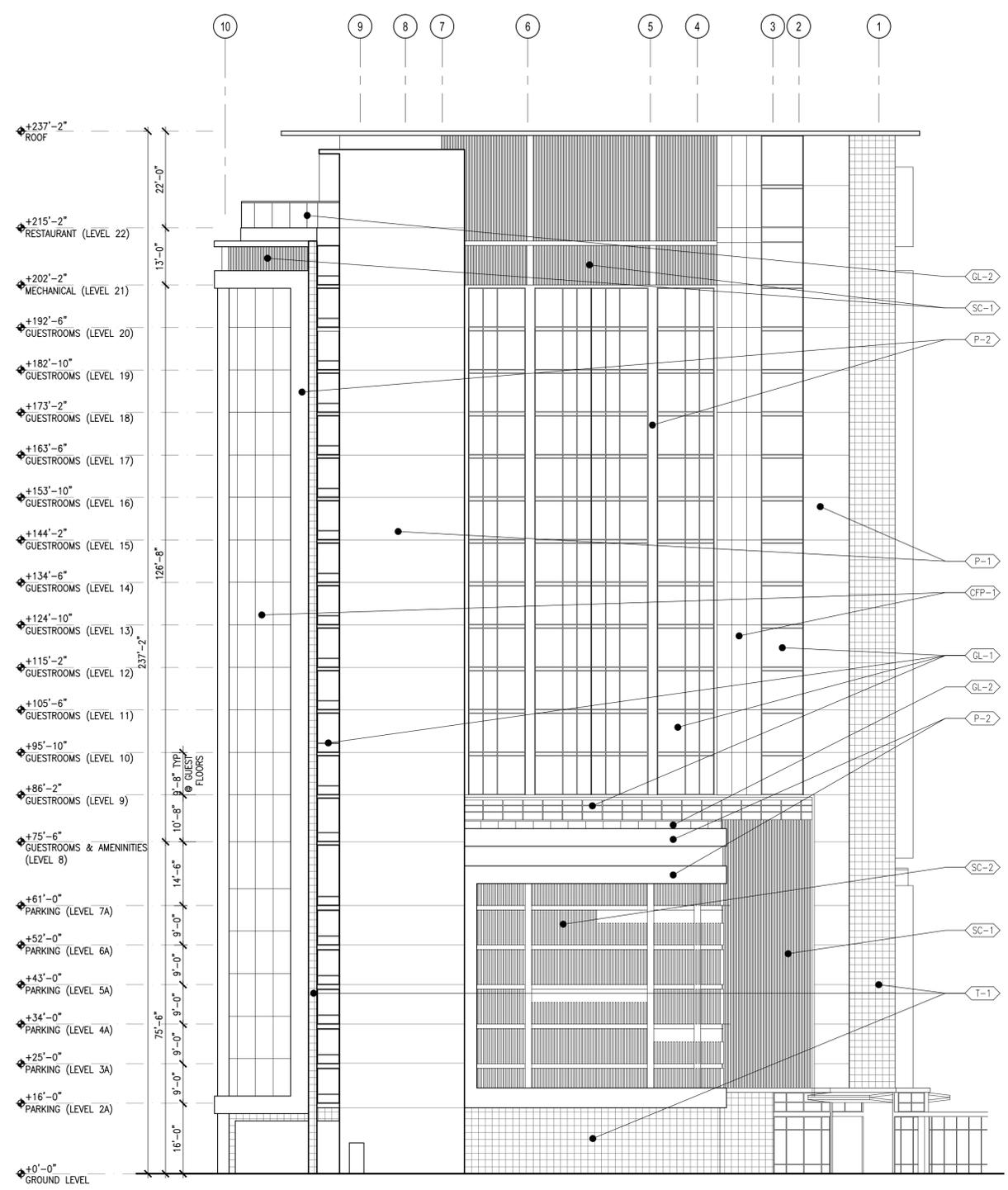
SHEET NO.

10

ISSUED FOR: PLANNING SUBMITTAL 1
 DATE: FEB. 25, 2020

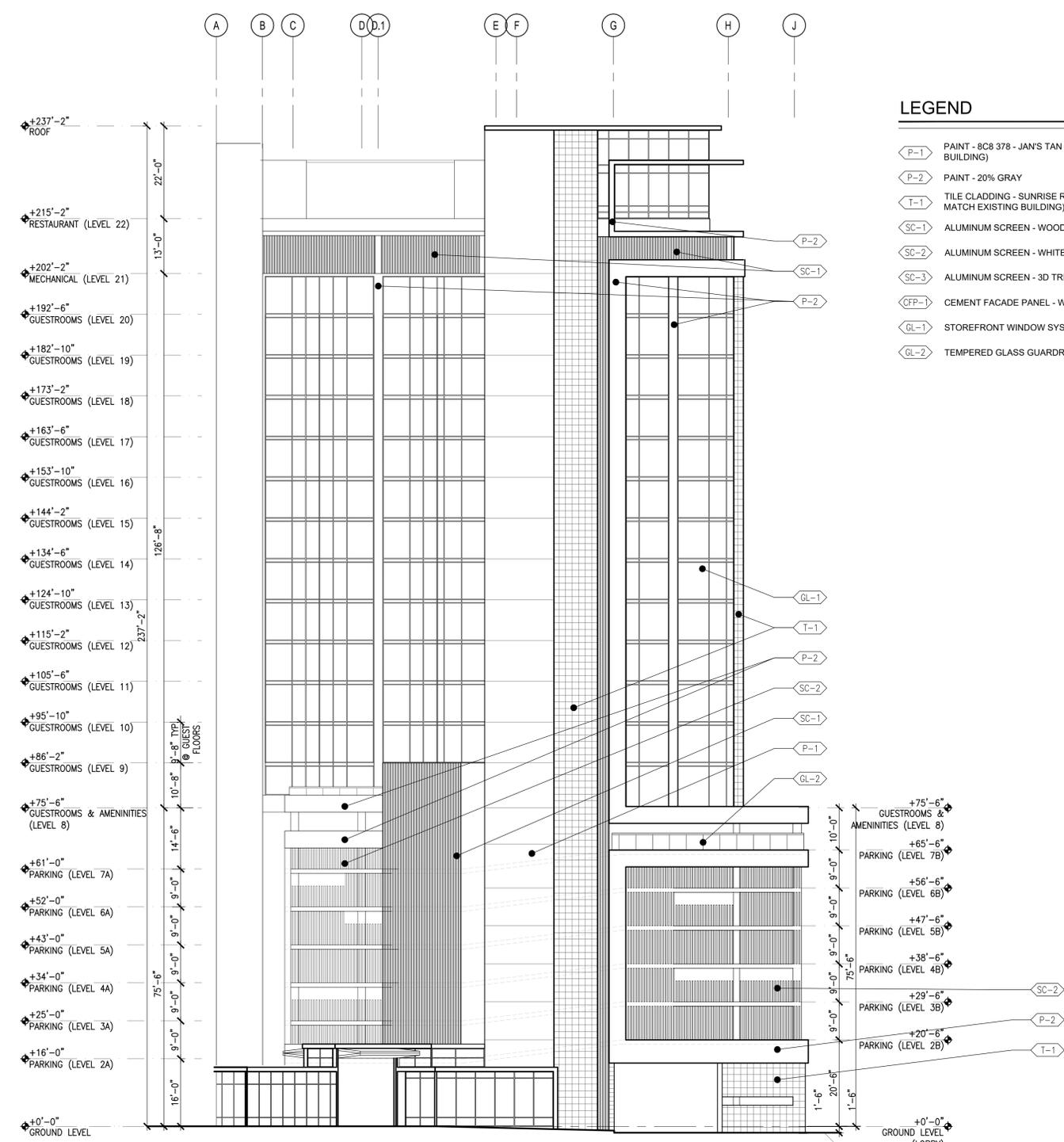
PROJECT NO. 17-3601





NORTH ELEVATION

SCALE: 1/16" = 1'-0"
 0 5' 10' 20'



WEST ELEVATION

SCALE: 1/16" = 1'-0"
 0 5' 10' 20'

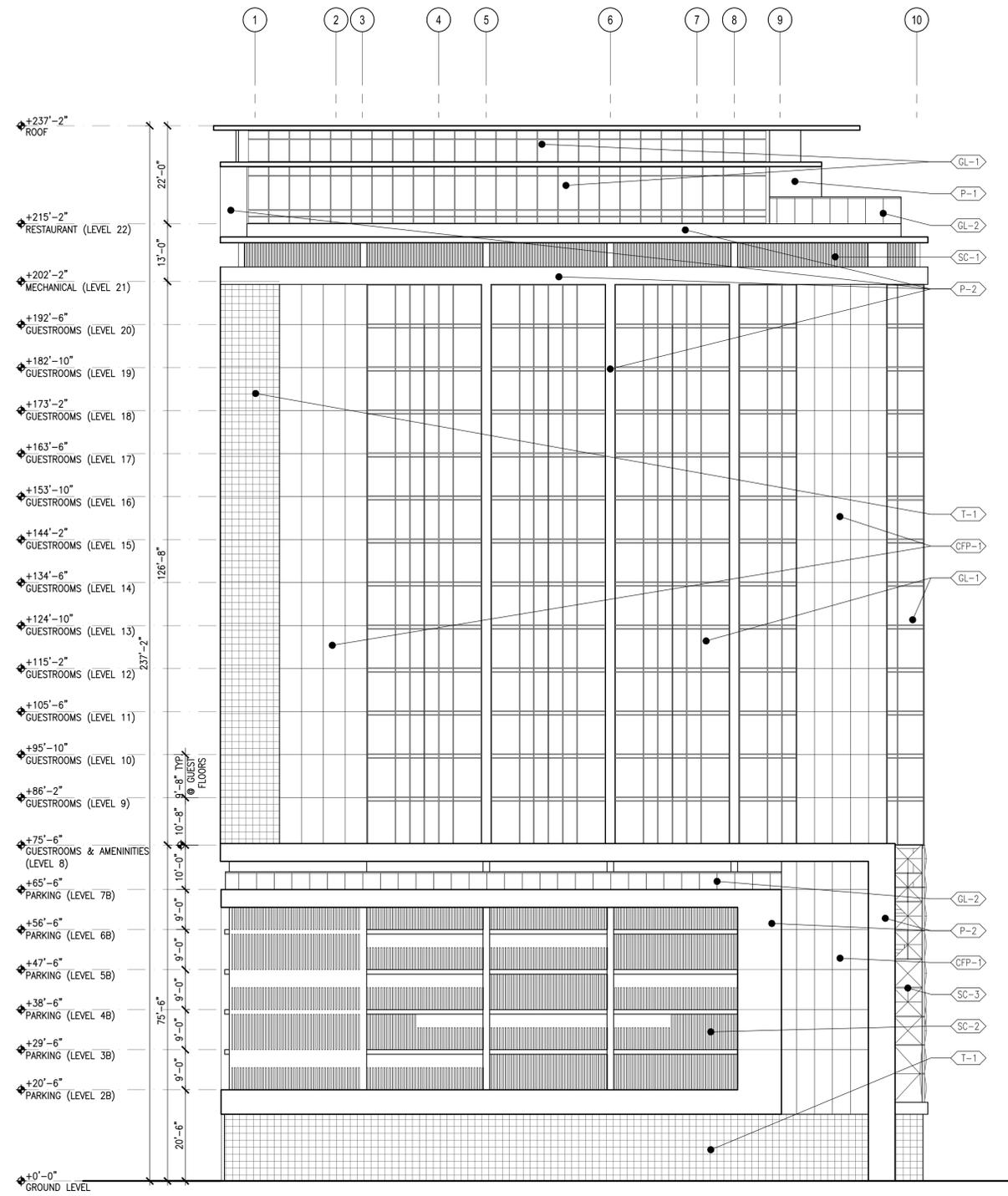
LEGEND

- P-1 PAINT - 8C8 378 - JAN'S TAN (TO MATCH EXISTING BUILDING)
- P-2 PAINT - 20% GRAY
- T-1 TILE CLADDING - SUNRISE RED / SANDSTONE (TO MATCH EXISTING BUILDING)
- SC-1 ALUMINUM SCREEN - WOOD FINISH
- SC-2 ALUMINUM SCREEN - WHITE FINIS
- SC-3 ALUMINUM SCREEN - 3D TRIANGLES
- CFP-1 CEMENT FACADE PANEL - WHITE
- GL-1 STOREFRONT WINDOW SYSTEM
- GL-2 TEMPERED GLASS GUARDRAIL

- +75'-6" GUESTROOMS & AMENITIES (LEVEL 8)
- +65'-6" PARKING (LEVEL 7B)
- +56'-6" PARKING (LEVEL 6B)
- +47'-6" PARKING (LEVEL 5B)
- +38'-6" PARKING (LEVEL 4B)
- +29'-6" PARKING (LEVEL 3B)
- +20'-6" PARKING (LEVEL 2B)
- +0'-0" GROUND LEVEL (LOBBY)
- 1'-6" PARKING ENTRANCE
- 15'-11"

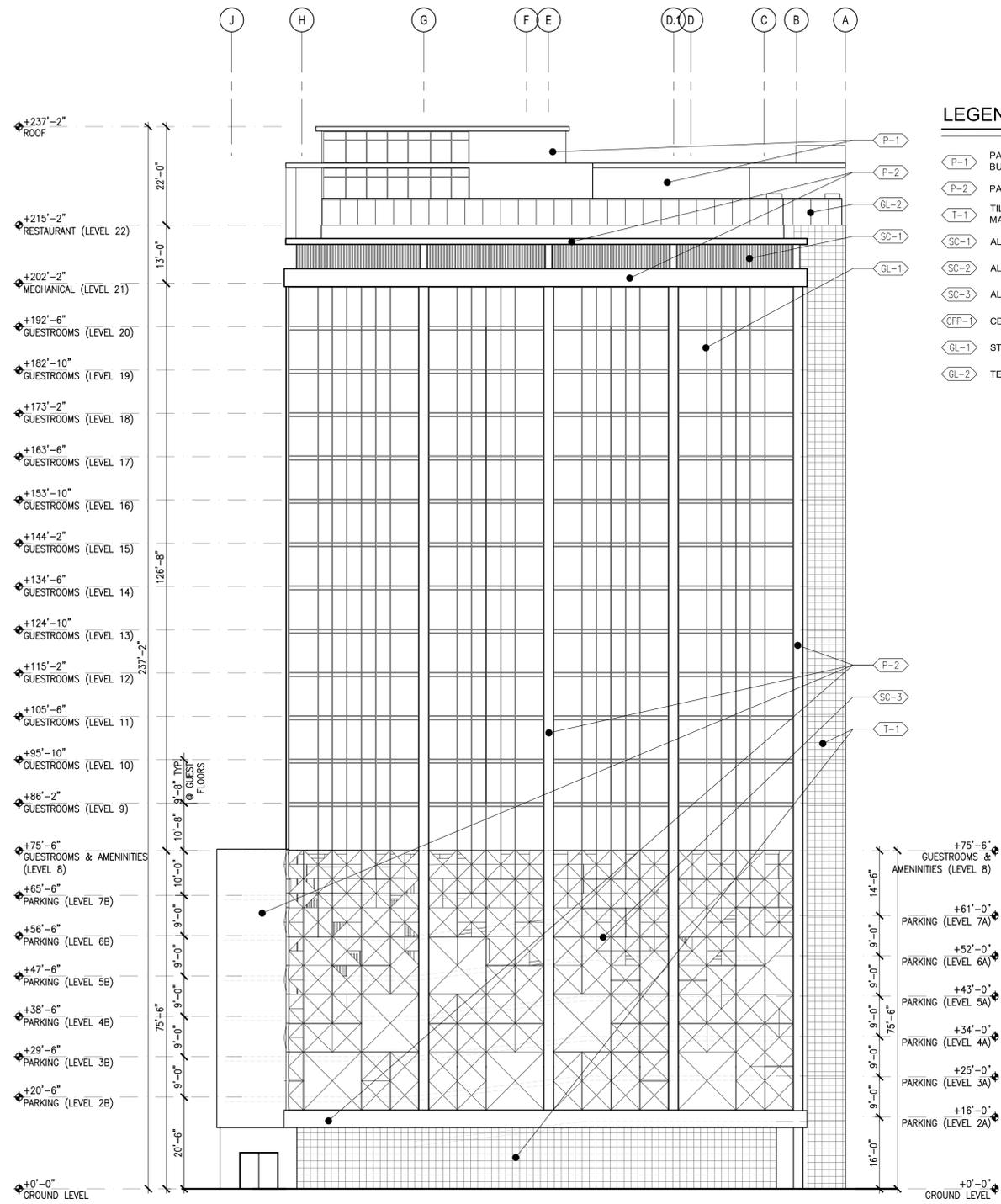
ISSUED FOR: PLANNING SUBMITTAL 1
 DATE: FEB. 25, 2020

PROJECT NO. 17-3601



SOUTH ELEVATION

SCALE: 1/16" = 1'-0"
 0 5' 10' 20'



EAST ELEVATION

SCALE: 1/16" = 1'-0"
 0 5' 10' 20'

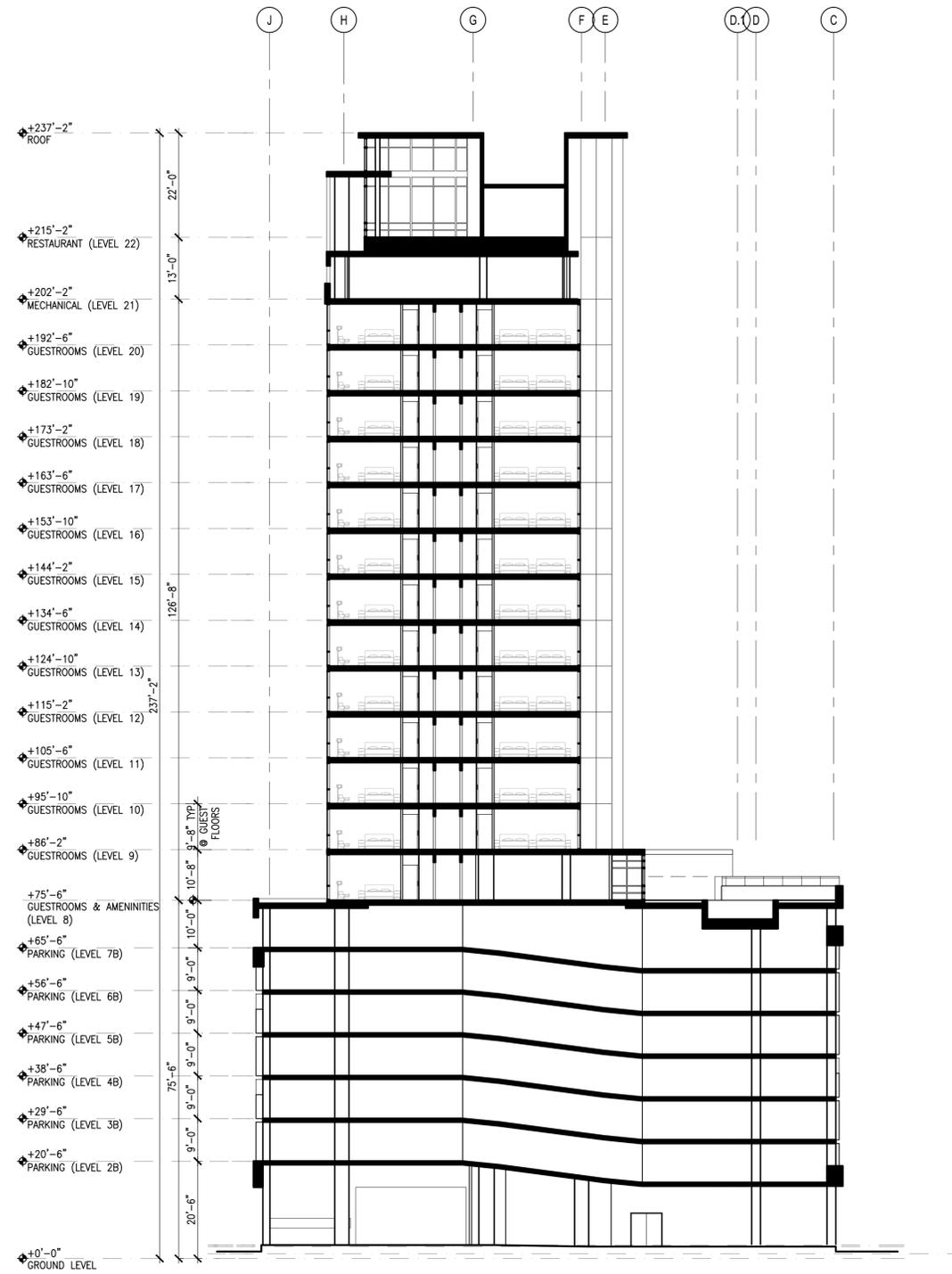
LEGEND

- P-1 PAINT - 8C8 378 - JAN'S TAN (TO MATCH EXISTING BUILDING)
- P-2 PAINT - 20% GRAY
- T-1 TILE CLADDING - SUNRISE RED / SANDSTONE (TO MATCH EXISTING BUILDING)
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- SC-3 ALUMINUM SCREEN - 3D TRIANGLES
- CFP-1 CEMENT FACADE PANEL - WHITE
- GL-1 STOREFRONT WINDOW SYSTEM
- GL-2 TEMPERED GLASS GUARDRAIL

- +75'-6" GUESTROOMS & AMENITIES (LEVEL 8)
- +61'-0" PARKING (LEVEL 7A)
- +52'-0" PARKING (LEVEL 6A)
- +43'-0" PARKING (LEVEL 5A)
- +34'-0" PARKING (LEVEL 4A)
- +25'-0" PARKING (LEVEL 3A)
- +16'-0" PARKING (LEVEL 2A)

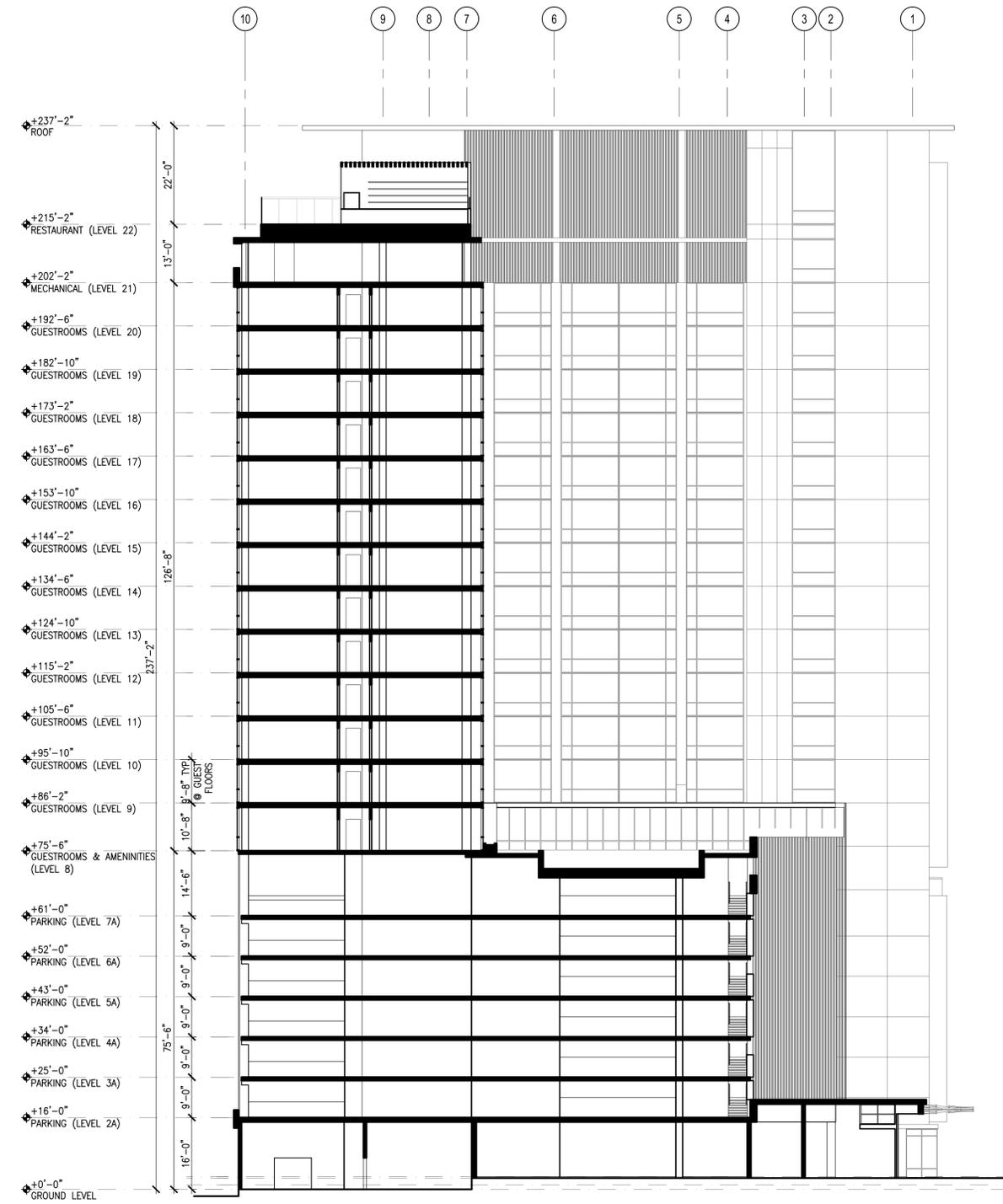
ISSUED FOR: PLANNING SUBMITTAL 1
 DATE: FEB. 25, 2020

PROJECT NO. 17-3601



BUILDING SECTION 1

SCALE: 1/16" = 1'-0"
 0 5' 10' 20'



BUILDING SECTION 2

SCALE: 1/16" = 1'-0"
 0 5' 10' 20'

ISSUED FOR: PLANNING SUBMITTAL 1
 DATE: FEB. 25, 2020

PROJECT NO. 17-3601



P-1 PAINT - ICI 378 - JAN'S TAN (TO MATCH EXISTING BUILDING)



P-2 PAINT - 20% GRAY



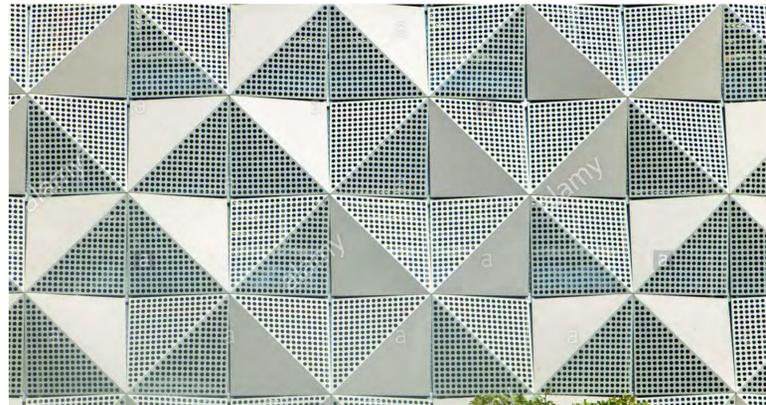
T-1 TILE CLADDING - SUNRISE RED / SANDSTONE (TO MATCH EXISTING BUILDING)



SC-1 ALUMINUM SCREEN - WOOD FINISH



SC-2 ALUMINUM SCREEN - WHITE FINIS



SC-3 ALUMINUM SCREEN - 3D TRIANGLES



GL-1 STOREFRONT WINDOW SYSTEM



GL-2 TEMPERED GLASS GUARDRAIL



CFP-1 CEMENT FACADE PANEL - WHITE

DEVELOPER
SC HOTEL
DEVELOPMENT LLC

PROJECT
GENERAL PLAN
AMENDMENT

SANTA CLARA
HILTON
Santa Clara,
California

SHEET
MATERIALS

SHEET NO.
14

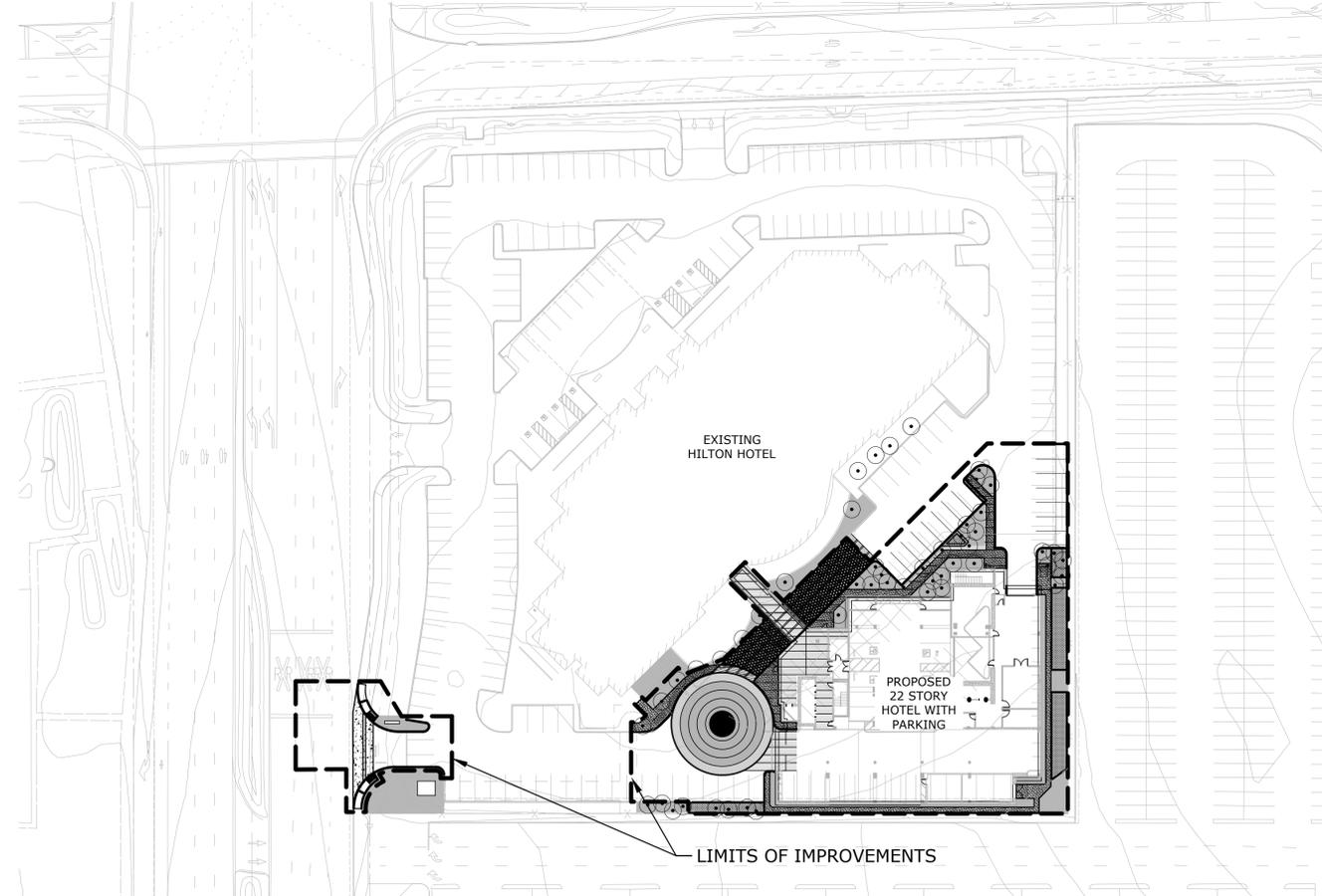
ISSUED FOR: PLANNING SUBMITTAL 1 DATE: FEB. 25, 2020

PROJECT NO. 17-3601



PRELIMINARY SITE IMPROVEMENT PLANS

OF SANTA CLARA HILTON FOR SC HOTEL DEVELOPMENT, LLC. SANTA CLARA, CALIFORNIA



PROJECT DESCRIPTION

THE PROPOSED PROJECT CONSISTS OF A 22 STORY MIXED-USE HIGH RISE HOTEL BUILDING. THE BUILDING WILL INCLUDE A GROUND FLOOR LOBBY, 7 LEVELS OF PARKING, 12 GUESTROOM STORIES, 1 MECHANICAL STORY, AND ROOFTOP RESTAURANT/OBSERVATION DECK.

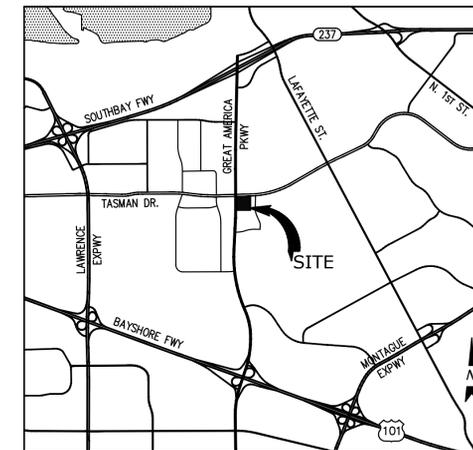
PROJECT SUMMARY

ADDRESS: 4949 GREAT AMERICA PARKWAY
SANTA CLARA, CA 95054

APN: 104-43-039

LEGAL DESCRIPTION: LOT 1, PARCEL A
BK 543, MAP 50
PORTION OF APN 104-43-039
(1997-98)

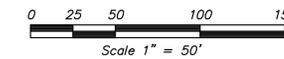
LOT EXIST SIZE: 3.862 ACRES (168,247 SQFT)



VICINITY MAP
NOT TO SCALE

SHEET INDEX

SHEET	DESCRIPTION
CIVIL	
C1.0	COVER NOTES
C1.1	TOPOGRAPHIC SURVEY
C2.0	SITE PLAN
C3.0	PRELIMINARY GRADING PLAN
C4.0	PRELIMINARY UTILITY PLAN
C5.0	STORMWATER MANAGEMENT PLAN
C6.0	STORMWATER MANAGEMENT DETAILS & NOTES
C6.1	FIRE ACCESS PLAN
C7.0	



DEVELOPER

SC HOTEL DEVELOPMENT LLC
ATTN: LAWRENCE LUI
433 CALIFORNIA ST., 7TH FLOOR
SAN FRANCISCO, CA 94104
415-982-7777

LANDSCAPE ARCHITECT

ZAC LANDSCAPE ARCHITECTS
ATTN: SANDRA REED
145 KELLER ST.
PETALUMA, CA 94952
707-636-2967

CIVIL ENGINEER

KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.
ATTN: ANDREW MECKLER, P.E.
3350 SCOTT BLVD., BLDG 22
SANTA CLARA, CA 95054
408-727-6665

ARCHITECT

AWBREY COOK ROGERS MCGILL
ATTN: TROY D. SCHALGE
1045 14TH ST., SUITE 100
SAN DIEGO, CA 92101
619-398-3480

DEVELOPER

SC HOTEL DEVELOPMENT LLC

PROJECT

GENERAL PLAN AMENDMENT

SANTA CLARA HILTON

Santa Clara, California

KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.

3350 Scott Blvd., building #22
Santa Clara, California 95054
Phone (408) 727-6665
Fax (925) 245-8796
www.kierwright.com

SHEET

COVER

SHEET NO.

C1.0

ISSUED FOR: PLANNING SUBMITTAL 1

DATE: FEB. 25, 2020

PROJECT NO. 17-3601



CITY OF SANTA CLARA ARBORIST NOTES:

I. GENERAL

- NO CUTTING OF ANY PART OF CITY TREES, INCLUDING ROOTS, SHALL BE DONE WITHOUT SECURING APPROVAL AND DIRECT SUPERVISION FROM THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY (408-615-3080).
- NO CUTTING OF ANY PART OF PRIVATE TREES, INCLUDING ROOTS, SHALL BE DONE WITHOUT DIRECT SUPERVISION OF AN INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) CERTIFIED ARBORIST.
- WHEN CONSTRUCTION OCCURS WITHIN THE DRIP LINE OF EXISTING TREES, CONTRACTOR SHALL PILE THE SOIL ON THE SIDE AWAY FROM THE TREE. WHEN THIS IS NOT POSSIBLE, PLACE SOIL ON PLYWOOD, TARP, OR 4"-5" THICK BED OF MULCH. THIS IS TO HELP PREVENT CUTTING INTO THE SOIL SURFACE WHEN THE BACKHOE OR TRACTOR BLADE REFILLS THE TRENCH.
- REFILL OPEN TRENCHES QUICKLY WITHIN HOURS OF EXCAVATION WHEN THEY OCCUR WITHIN THE DRIP LINE OF EXISTING TREES. IF THIS IS NOT POSSIBLE AND THE WEATHER IS HOT, DRY, OR WINDY, CONTRACTOR MUST KEEP ROOT ENDS MOSTLY BY COVERING THEM WITH WET BURLAP. IF THE TEMPERATURE IS 80° F OR GREATER, THE BURLAP MUST BE INSPECTED EVERY HOUR AND RE-WET AS NECESSARY TO MAINTAIN A CONSTANT COOL MOIST CONDITION. IF THE TEMPERATURE IS BELOW 80°, THE BURLAP MUST BE INSPECTED EVERY FOUR HOURS AND RE-WET AS NECESSARY TO MAINTAIN A CONSTANT COOL MOIST CONDITION. SMALL ROOTS CAN DRY OUT AND DIE IN 10-15 MINUTES. LARGER ROOTS CAN SUCCEUM IN AN HOUR OR LESS UNDER UNFAVORABLE WEATHER CONDITIONS.
- WHEN ROOTS 2" OR LARGER ARE REQUIRED TO BE CUT, SHOVEL BY HAND NEAR THE ROOTS AND PRUNE THE ROOTS WITH AN INDUSTRY-APPROVED PRUNING TOOL. ROOTS THAT ARE ACCIDENTALLY BROKEN SHOULD BE PRUNED TWO INCHES FROM THE DAMAGED END. CRUSHED OR TORN ROOTS ARE MORE LIKELY TO ALLOW DECAY TO BEGIN. SHARPLY CUT ROOTS PRODUCE A FLUSH OF NEW ROOTS HELPING THE TREE TO RECOVER FROM ITS INJURY.
- CONTRACTOR SHALL NOTIFY THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY 72 HOURS IN ADVANCE OF ANY WORK REQUIRING DIGGING AROUND OR WITHIN THE DRIP LINE OF EXISTING TREES.
- A CLEAR SYSTEM OF FLAGGING MUST BE PROVIDED AROUND TREES WITHIN 20' OF THE PROPOSED GRADING. CONTRACTOR SHALL SECURE APPROVAL OF SUCH SYSTEM FROM THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY.
- MATERIALS, EQUIPMENT, TEMPORARY BUILDINGS, FUELS, PAINTS AND OTHER CONSTRUCTION ITEMS SHALL NOT BE PLACED WITHIN THE DRIP LINE OF EXISTING TREES.
- FENCE ALL TREES TO BE RETAINED TO COMPLETELY ENCLOSE THE TREE PROTECTION ZONE PRIOR TO DEMOLITION, GRUBBING OR GRADING. FENCING SHALL BE PLACED AT THE DRIP LINE OF EXISTING TREES OR, IF POSSIBLE, 1.5 TIMES THE RADIUS OF THE DRIP LINE OUT FROM THE TRUNK OF THE TREE. A WARNING SIGN SHALL BE PROMINENTLY DISPLAYED ON EACH FENCE. THE SIGN SHALL BE A MINIMUM OF 8.5"x11" AND CLEARLY STATE "WARNING-TREE PROTECTION ZONE" THIS FENCE SHALL NOT BE REMOVED WITHOUT APPROVAL FROM THE CITY ARBORIST/PROJECT ARBORIST". FENCES SHALL BE 6-FOOT TALL CHAIN LINK OR EQUIVALENT AS APPROVED BY THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY. FENCES SHALL REMAIN UNTIL ALL GRADING AND CONSTRUCTION WORK IS COMPLETED. IN ADDITION, WRAP ALL TREES WITH STRAW WADDE UP TO THE FIRST MAIN BRANCH, THEN WRAP SNOW FENCING AROUND THE WADDE ON ALL TREES IN THE CONSTRUCTION ZONE TO PROTECT THEM FROM BARK DAMAGE CAUSED BY THE WORK.
- NO TRENCING SHALL BE DONE WITHIN THE DRIP LINE OF EXISTING TREES WITHOUT THE APPROVAL OF THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY. OPEN TRENCING IN THE ROOT ZONE OF A PUBLIC TREE IS PROHIBITED EXCEPT IN CASES WHERE THE TRENCING FALLS OUTSIDE THE DRIP LINE OF THE TREE INVOLVED. EXCEPTIONS MAY BE ALLOWED IF, IN THE OPINION OF THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY, THE IMPACT OF TRENCING ON THE TREE WILL BE NEGLIGIBLE.
- ANY CUTTING OF EXISTING ROOTS OF CITY TREES SHALL BE DONE WITH APPROVED LIGHT EQUIPMENT UNDER THE DIRECT SUPERVISION OF THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY. ANY CUTTING OF EXISTING ROOTS OF PRIVATE TREES SHALL BE DONE WITH APPROVED EQUIPMENT UNDER THE DIRECT SUPERVISION OF AN ISA CERTIFIED ARBORIST.
- GRADING SHOULD NOT CREATE DRAINAGE PROBLEMS FOR TREES BY CHANNELING WATER INTO THEM, OR CREATING SUNKEN AREAS.
- ALL GRADING WITHIN THE DRIP LINE OF CITY TREES SHALL BE DONE WITH APPROVED LIGHT EQUIPMENT UNDER THE DIRECT SUPERVISION OF THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY. ALL GRADING WITHIN THE DRIP LINE OF PRIVATE TREES SHALL BE DONE WITH APPROVED EQUIPMENT UNDER THE DIRECT SUPERVISION OF AN ISA CERTIFIED ARBORIST. THE ORIGINAL GRADE AT THE BASE OF EXISTING TREES SHALL NOT BE MODIFIED. IF A GRADE INCREASE IS NECESSARY, DRY WELLS SHOULD BE USED.
- WHEN TRENCING IS ALLOWED, THE CONTRACTOR MUST FIRST CUT ROOTS WITH A VERMEER ROOT CUTTER PRIOR TO ANY TRENCING TO AVOID TUGGING OR PULLING OF ROOTS.
- TREES THAT ARE DETERMINED TO BE REMOVED BY THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY DUE TO AN UNFORESEEN CIRCUMSTANCE DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR. THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY SHALL DETERMINE THE REPLACEMENT SPECIE, SIZE, QUANTITY, AND SPACING.
- PLACE 4"-5" THICK MULCH AROUND ALL EXISTING TREES (OUT TO THEIR DRIP LINE) THAT ARE TO BE RETAINED PRIOR TO ANY CONSTRUCTION. THIS WILL HELP MAINTAIN MOISTURE UNDER THE TREE WITHIN THE FENCING AREA.
- BORE PITS ARE NOT ALLOWED WITHIN THE DRIP LINE OF ANY TREE.

II. BORING

WHERE THERE IS INSUFFICIENT SPACE TO BYPASS THE DRIP LINE BY TRENCING ADJACENT TO ALL EXISTING TREES IN EXCESS OF 5" DBH, THE INSTALLATION MUST BE MADE BY BORING. THE BEGINNING AND ENDING DISTANCE OF THE BORE FROM THE FACE OF THE TREE IN ANY DIRECTION IS DETERMINED BY THE DIAMETER OF THE TREE AS SPECIFIED BY THE ACCOMPANYING TABLE:

WHEN THE TREE DIAMETER AT 4 1/2 FEET IS:	TRENCING WILL BE REPLACED BY BORING AT THIS MINIMUM DISTANCE FROM THE FACE OF THE TREE IN ANY DIRECTION:
0-2 INCHES	1 FOOT
3-4 INCHES	2 FEET
6-9 INCHES	5 FEET
10-14 INCHES	10 FEET
15-19 INCHES	12 FEET
OVER 19 INCHES	15 FEET

TREE DIAMETER	(MINIMUM) DEPTH OF BORE
9 INCHES OR LESS	2.5 FEET
10-14 INCHES	3.0 FEET
15-19 INCHES	3.5 FEET
20 INCHES OR MORE	4.0 FEET

III. TREE PROTECTION

- CONTRACTOR SHALL TAG AND IDENTIFY EXISTING TREES WHICH ARE TO REMAIN WITHIN THE PROJECT LIMITS AND ON THE PUBLIC RIGHT-OF-WAY PRIOR TO START OF WORK. PROTECT ALL TAGGED TREES AT ALL TIMES FROM DAMAGE BY THE WORK. TREATMENT OF ALL MINOR DAMAGE TO TAGGED TREES SHALL BE PERFORMED BY AN ISA CERTIFIED ARBORIST OR OTHER PERSONNEL APPROVED BY THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY. IF A TAGGED TREE IS PERMANENTLY DISFIGURED OR KILLED AS A RESULT OF THE WORK, CONTRACTOR SHALL REMOVE THE TREE, INCLUDING ITS ROOTS, FROM THE SITE AND REPLACE EACH REMOVED TREE WITH AN EQUAL-SIZED TREE. IF SUCH REPLACEMENT IS NOT POSSIBLE, THE CONTRACTOR SHALL REBURSE TO THE TREE OWNER THE AMOUNT LISTED IN THE TABLE BELOW. THE CITY ARBORIST OR ARBORIST EMPLOYED BY CITY SHALL BE THE SOLE JUDGE OF THE CONDITION OF ANY TREE. CONTRACTOR SHALL PROVIDE REGULAR WATERING OF EXISTING LANDSCAPING WITHIN THE CONSTRUCTION AREA THROUGH THE CONSTRUCTION PERIOD.
- CONTRACTOR SHALL PAY THE TREE OWNER THE VALUE OF EXISTING TREES TO REMAIN THAT DIED OR WERE DAMAGED BECAUSE OF THE CONTRACTOR'S FAILURE TO PROVIDE ADEQUATE PROTECTION AND MAINTENANCE. THE PAYMENT AMOUNT SHALL BE IN ACCORDANCE WITH THE FOLLOWING SCHEDULE OF VALUES, USING "TREE CALIPER" METHOD ESTABLISHED IN THE MOST RECENT ISSUE OF THE "GUIDE FOR ESTABLISHING VALUES OF TREES AND OTHER PLANTS", PREPARED BY THE COUNCIL OF TREE AND LANDSCAPE ARCHITECTS.

7 INCHES	\$2,400
8 INCHES	\$3,400
9 INCHES	\$4,400
10 INCHES	\$5,200
11 INCHES	\$6,200
12 INCHES	\$7,200
13 INCHES	\$8,200
14 INCHES	\$9,200
15 INCHES	\$10,000
16 INCHES	\$11,000
17 INCHES	\$12,000
18 INCHES AND OVER: ADD FOR EACH CALIPER INCH	\$1,200

SITE ACCESSIBILITY NOTES:

- ALL SITE WORK SHALL BE IN CONFORMANCE WITH TITLE 24 OF THE CALIFORNIA ADMINISTRATIVE CODE, THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), THE 2013 CALIFORNIA BUILDING CODE AND ANY LOCAL OR STATE AMENDMENTS THEREOF.
- ALL PEDESTRIAN SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. SURFACES WITH A SLOPE OF LESS THAN 6% SLOPE SHALL BE AT LEAST AS SLIP-RESISTANT AS THAT DESCRIBED AS A MEDIUM SALTED FINISH. SURFACES WITH GREATER THAN A 6% SLOPE SHALL BE SLIP RESISTANT.
- A LEVEL AREA IS DEFINED AS A SPECIFIED SURFACE THAT DOES NOT HAVE A SLOPE IN ANY DIRECTION EXCEEDING 1:50 (2% SLOPE). SURFACE SLOPES OF ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE THE MINIMUM POSSIBLE AND SHALL NOT EXCEED 1:50 (2% SLOPE) IN ANY DIRECTION.

WALKS AND SIDEWALKS:

- A WALK IS DEFINED AS A SURFACED PEDESTRIAN WAY NOT LOCATED CONTIGUOUS TO A STREET USED BY THE PUBLIC. A SIDEWALK IS DEFINED AS A SURFACED PEDESTRIAN WAY CONTIGUOUS TO A STREET USED BY THE PUBLIC.
- WALKS AND SIDEWALKS SHALL HAVE A CROSS SLOPE THAT DOES NOT EXCEED 1:50 (2% SLOPE). THE SLOPE IN THE DIRECTION OF TRAVEL SHALL BE LESS THAN 1:20 (5% SLOPE), UNLESS OTHERWISE INDICATED AND SHALL HAVE A CONTINUOUS COMMON SURFACE NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2 INCH AND SHALL BE A MINIMUM OF 48 INCHES IN WIDTH.
- WALKS SHALL BE PROVIDED WITH A LEVEL AREA NOT LESS THAN 60 INCHES BY 60 INCHES AT A DOOR OR GATE THAT SWINGS TOWARD THE WALK, AND NOT LESS THAN 48 INCHES WIDE BY 44 INCHES DEEP AT A DOOR OR GATE THAT SWINGS AWAY FROM THE WALK. SUCH WALKS SHALL EXTEND 24 INCHES TO THE SIDE OF THE STRIKE EDGE OF A DOOR OR GATE THAT SWINGS TOWARD THE WALK.

CURB RAMPS:

- A CURB RAMP IS DEFINED AS A SLOPING PEDESTRIAN WAY, INTENDED FOR PEDESTRIAN TRAFFIC, WHICH PROVIDES ACCESS BETWEEN A WALK OR SIDEWALK AND A SURFACE LOCATED ABOVE OR BELOW AN ADJACENT CURB FACE, AS DIFFERENTIATED FROM A RAMP.
- CURB RAMPS SHALL BE A MINIMUM OF 4 FEET WIDE WITH A SLOPE NOT EXCEEDING 1:12 (8.33% SLOPE). TRANSITIONS FROM RAMPS TO WALKS, GUTTERS OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGE. MAXIMUM SLOPES OF AN ADJOINING GUTTER, ROAD SURFACE IMMEDIATELY ADJACENT TO THE CURB RAMP, OR ACCESSIBLE ROUTE SHALL NOT EXCEED 1:20 (5% SLOPE) WITHIN 4 FEET OF THE BOTTOM OF THE CURB RAMP. THE SLOPE OF THE FANNED OR FLARED SIDES OF CURB RAMPS SHALL NOT EXCEED 1:10 (10% SLOPE).
- A LEVEL LANDING 4 FEET DEEP SHALL BE PROVIDED AT THE UPPER END OF EACH CURB RAMP OVER ITS FULL WIDTH TO PERMIT SAFE EGRESS FROM THE RAMP SURFACE, OR THE SLOPE OF THE FANNED OR FLARED SIDES OF THE CURB RAMP SHALL NOT EXCEED 1:12 (8.33% SLOPE).
- TRANSITIONS FROM RAMPS AND LANDING TO WALKS, GUTTERS OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES.
- MAXIMUM SLOPES OF ADJOINING GUTTERS, THE ROAD SURFACE IMMEDIATELY ADJACENT TO THE CURB RAMP, OR ACCESSIBLE ROUTES SHALL NOT EXCEED 5 PERCENT WITHIN 4'-0" OF THE BOTTOM OF THE CURB RAMP.
- THE EDGE OF THE DETECTABLE WARNING SURFACE NEAREST THE STREET SHALL BE BETWEEN 6" AND 8" FROM THE GUTTER FLOWLINE.
- ACCESSIBLE RAMPS SHALL HAVE A 12" WIDE BORDER WITH 1/4" GROOVES APPROXIMATELY 3/4" O.C. SEE GROOVING DETAIL. THE SURFACE OF THE RAMP SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
- IF LOCATED ON A CURVE, THE SIDES OF THE RAMP NEED NOT BE PARALLEL, BUT THE MINIMUM WIDTH OF THE RAMP SHALL BE 4'-0".

- CURB RAMPS SHALL HAVE A DETECTABLE WARNING SURFACE THAT EXTENDS THE FULL WIDTH AND MIN. DEPTH OF THE RAMP. DETECTABLE WARNING SURFACES SHALL CONFORM TO THE DETAILS ON THIS PLAN AND CALIFORNIA BUILDING CODE. DIMENSIONS AND PLACEMENT OF DOMES SHALL COMPLY WITH CBC 11-8-406.5.12 AND 11B-705. CONTRACTOR SHOULD CONFIRM WITH BUILDING OFFICIAL PRIOR TO CONSTRUCTION IF LOCAL JURISDICTION ACCEPTS 3'-0" DEPTH IN LIEU OF FULL DEPTH PLACEMENT.

- UTILITY PULL BOXES, MANHOLES, VAULTS AND ALL OTHER UTILITY FACILITIES WITHIN THE BOUNDARIES OF THE CURB RAMP SHOULD BE RELOCATED OR ADJUSTED TO GRADE BY PRIOR TO, OR IN CONJUNCTION WITH, CURB RAMP CONSTRUCTION.

RAMPS:

- A RAMP IS DEFINED AS A WALKING SURFACE WHICH HAS A RUNNING SLOPE GREATER THAN 1:20 (5% SLOPE) INTENDED FOR PEDESTRIAN TRAFFIC AND AS DIFFERENTIATED FROM A CURB RAMP. ANY ACCESSIBLE ROUTE OF TRAVEL SHALL BE CONSIDERED A RAMP IF ITS SLOPE IS GREATER THAN 1:20 (5% SLOPE).
- RAMPS SHALL HAVE A MINIMUM CLEAR WIDTH OF 48 INCHES, UNLESS REQUIRED TO BE WIDER BY SOME OTHER PROVISION OF THE CODES IN EFFECT. THE MAXIMUM SLOPE OF A RAMP SHALL BE 1:12 (8.33% SLOPE). THE MAXIMUM RISE FOR ANY RUN SHALL BE 30 INCHES. THE GROSS SLOPE OF RAMP SURFACES SHALL BE NO GREATER THAN 1:50 (2% SLOPE).
- LEVEL RAMP LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF EACH RAMP. INTERMEDIATE LANDINGS SHALL BE PROVIDED AT INTERVALS NOT EXCEEDING 30 INCHES OF VERTICAL RISE AND AT EACH CHANGE OF DIRECTION. LANDINGS ARE NOT CONSIDERED IN DETERMINING THE MAXIMUM HORIZONTAL DISTANCE OF EACH RAMP. TOP LANDINGS SHALL BE NOT LESS THAN 60 INCHES WIDE AND SHALL HAVE A LENGTH OF NOT LESS THAN 60 INCHES IN THE DIRECTION OF RAMP RUN. LANDINGS AT THE BOTTOM OF RAMPS SHALL HAVE A DIMENSION IN THE DIRECTION OF RAMP RUN OF NOT LESS THAN 72 INCHES.

NOTES FOR UNDERGROUND FIRE PROTECTION SYSTEM

- THE UNDERGROUND FIRE PROTECTION SYSTEM SHOWN ON THIS DRAWING IS SCHEMATIC AND IS NOT INTENDED TO BE AN INSTALLATION DRAWING. THIS DRAWING SHALL NOT BE USED AS A BASE SHEET FOR SHOP DRAWINGS WITHOUT WRITTEN APPROVAL OF THE PREPARER.
- THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS SHOWING ALL INFORMATION REQUIRED BY NFPA 13, 24 AND THE LOCAL FIRE MARSHAL.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE LOCAL FIRE MARSHAL, THE RATING AGENCY AND THE ARCHITECT.
- THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL OBTAIN ALL APPROVALS PRIOR TO STARTING WORK.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF COMPLIANCE OF THE SHOP DRAWINGS TO THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTAL.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND EQUIPMENT LOCATIONS.
- PROVISIONS SHALL BE MADE IN THE SHOP DRAWINGS FOR MONITORING ALL VALVES AS REQUIRED BY THE LOCAL FIRE MARSHAL.
- CONTRACTOR MUST OBTAIN PERMIT FROM THE LOCAL FIRE DEPARTMENT PRIOR TO INSTALLATION.

CITY OF SANTA CLARA GENERAL NOTES:

- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY'S STANDARD DETAILS, STANDARD SPECIFICATIONS, AND GENERAL REQUIREMENTS.
- CONTRACTOR SHALL SECURE AN ENCROACHMENT PERMIT FROM THE CITY ENGINEERING DEPARTMENT AND PAY APPROPRIATE FEE PRIOR TO COMMENCEMENT OF WORK. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE UNDER A SINGLE ENCROACHMENT PERMIT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH THE APPROPRIATE UTILITY AGENCIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY OWNERS 48 HOURS PRIOR TO COMMENCEMENT OF WORK ADJACENT TO THE UTILITY. CONTACT UNDERGROUND SERVICE ALERT (USA) AT 811 OR 800-227-2600.
- THE CONTRACTOR SHALL NOTIFY, BY CIRCULAR, ALL BUSINESS ESTABLISHMENTS AND RESIDENCES LOCATED IN AREAS AFFECTED BY THE WORK AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION. CIRCULAR SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER IN THE FIELD: AT EACH LOCATION WHERE NEW CURB/GUTTER IS TO BE INSTALLED ON AN EXISTING STREET (DRIVEWAY INSTALLATION, DRIVEWAY ABANDONMENT, CURB RAMP INSTALLATION, CURB FACE DRAINAGE INSTALLATION, ETC.) PAVEMENT RECONSTRUCTION SHALL BE REQUIRED. AN 18-INCH WIDE BAND OF PAVEMENT SHALL BE REMOVED AND REPLACED ALONG THE ENTIRE LENGTH OF CURB/GUTTER INSTALLATION. REMOVAL DEPTH (SAW CUTS REQUIRED) SHALL BE TO THE BASE MATERIAL ON STREETS WITH A.C. OR P.C.C. PAVEMENT FOUR (4) INCHES OR LESS IN THICKNESS. REMOVAL DEPTH SHALL BE TWO (2) INCHES MINIMUM ON STREETS WITH A.C. (GRIND) AND FOUR (4) INCHES MINIMUM ON STREETS WITH P.C.C. (SAW CUT) PAVEMENT THICKNESS GREATER THAN FOUR (4) INCHES. REPLACE WITH A.C. OR P.C.C. (DOWELS REQUIRED) TO MATCH EXISTING PAVEMENT.
- ALL SIDEWALK, CURB, AND GUTTER DAMAGED AS A RESULT OF THE PROJECT SHALL BE REMOVED AND REPLACED TO THE NEAREST SCORE MARK OR AS DIRECTED BY THE CITY ENGINEER. INSTALLATION OF NEW SIDEWALK, CURB AND GUTTER AGAINST EXISTING IMPROVEMENTS SHALL REQUIRE A SIDEWALK CONTACT JOINT (DOWELS REQUIRED).
- PARTIAL REPLACEMENT OF A DRIVEWAY IS NOT ALLOWED. A DRIVEWAY THAT HAS BEEN CUT OR DAMAGED MUST BE REPLACED IN ITS ENTIRETY. THE NEW REPLACEMENT DRIVEWAY MUST MEET CURRENT CITY STANDARDS WHICH MAY AFFECT ON-SITE IMPROVEMENTS AND/OR REQUIRE A SIDEWALK EASEMENT.
- SLURRY SEAL SHALL BE REQUIRED ON ALL NEW STREET PAVEMENT (E.G., TRENCH WORK, POTHOLES, AND STREET WIDENINGS). SLURRY SEAL SHALL EXTEND TWELVE INCHES BEYOND THE LIMIT OF PAVEMENT RECONSTRUCTION.
- ALL MANHOLES, VALVE BOXES, MONUMENT BOXES, AND OTHER STRUCTURES IN THE PAVEMENT AREA SHALL BE ADJUSTED TO FINISH GRADE BEFORE PAVING FINAL LAY.
- TRANSITIONS FROM RAMPS AND LANDING TO WALKS, GUTTERS OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES.
- GRADE BREAKS ON CURBS AND SIDEWALKS ARE TO BE ROUNDED OFF ON FORM WORK AND FINISHED SURFACING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION AND/OR PERPETUATION OF EXISTING SURVEY MONUMENTS (CURB TAGS, IRON PIPES, STREET MONUMENTS, ETC.) NOTED ON THE PLANS OR FOUND DURING CONSTRUCTION PER SECTION 8721 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE. IF A SURVEY MONUMENT HAS THE POTENTIAL OF BEING DISTURBED OR WITHIN 3 FEET OF THE WORK, THE MONUMENT SHALL BE LOCATED, REFERENCED, AND A COMER RECORD SHALL BE FILED WITH THE SANTA CLARA COUNTY SURVEYOR, AND A DUPLICATE OF THE COMER RECORD SHALL BE SUBMITTED TO THE CITY ENGINEER PRIOR TO THE START OF CONSTRUCTION. SHOULD ANY SURVEY MONUMENT BE DAMAGED OR DESTROYED DURING CONSTRUCTION, THE CONTRACTOR SHALL RE-ESTABLISH SAID MONUMENT PER CITY STANDARD, FILE A COMER RECORD WITH THE SANTA CLARA COUNTY SURVEYOR, AND SUBMIT A DUPLICATE OF THE COMER RECORD TO THE CITY ENGINEER PRIOR TO FINAL PROJECT NOTICE OF COMPLETION ISSUED BY THE DEPARTMENT OF PUBLIC WORKS. THE CONTRACTOR SHALL, AT HIS/HER EXPENSE, HIRE A LICENSED PROFESSIONAL CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING OR LAND SURVEYOR TO PERFORM THE WORK.
- ALL SURPLUS AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM PUBLIC RIGHT-OF-WAY.
- CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL AND KEEP MUD AND DEBRIS OFF THE PUBLIC RIGHT-OF-WAY AT ALL TIMES.
- ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
- EXISTING UTILITIES SHOWN ARE BASED UPON RECORD INFORMATION AND ARE APPROXIMATE IN LOCATION AND DEPTH. THE CONTRACTOR SHALL POT-HOLE ALL EXISTING UTILITIES THAT MAY BE AFFECTED BY NEW FACILITIES IN THIS CONTRACT. VERIFY ACTUAL LOCATION AND DEPTH, AND REPORT POTENTIAL CONFLICTS TO THE ENGINEER PRIOR TO EXCAVATING FOR NEW FACILITIES.
- CONTRACTOR SHALL PERFORM HIS CONSTRUCTION AND OPERATION IN A MANNER, WHICH WILL NOT ALLOW HARMFUL POLLUTANTS TO ENTER THE STORM DRAIN SYSTEM. TO ENSURE COMPLIANCE, THE CONTRACTOR SHALL IMPLEMENT THE APPROPRIATE BEST MANAGEMENT PRACTICE (BMP) AS OUTLINED IN THE BROCHURES ENTITLED "BEST MANAGEMENT PRACTICE FOR THE CONSTRUCTION INDUSTRY" ISSUED BY THE SANTA CLARA VALLEY NONPOINT SOURCE POLLUTION CONTROL PROGRAM, TO SUIT THE CONSTRUCTION SITE AND JOB CONDITION.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT IN THE PUBLIC RIGHT-OF-WAY SHALL NOT BE PERMITTED, EXCEPT AT LOCATION(S) APPROVED BY THE CITY TRAFFIC ENGINEER.
- ALL SANITARY SEWER AND/OR STORM DRAIN MAINS TO BE ABANDONED SHALL BE FILLED WITH SAND OR CONTROL DENSITY FILL (CDF) AND PLUGGED AT EACH END WITH A 6" THICK WALL OF CLASS "A" P.C.C.
- ABANDONMENT OF SANITARY SEWER LATERAL AT THE PROPERTY LINE SHALL INCLUDE THE COMPLETE REMOVAL OF THE CHRISTY BOX, ALL VERTICAL PIPES AND THE 45° WYE. THE REMAINING LATERAL ENDS SHALL BE PLUGGED WITH 6" THICK WALL OF CLASS "A" P.C.C., ENSURING NO CONCRETE ENTERS THE MAIN. ABANDONMENT OF SANITARY SEWER LATERAL AT THE MAIN WILL OCCUR WHEN LATERAL CONNECTS AT A MANHOLE OR AS DETERMINED BY THE CITY. PLUG THE LATERAL END WITH 6" THICK WALL OF CLASS "A" P.C.C., AND FILL LATERAL WITH SAND OR CONTROL DENSITY FILL (CDF), MAKING A SMOOTH TROWEL FINISH ON THE INSIDE WALL OF THE MANHOLE FOR MANHOLE CONNECTIONS.

- UNLESS OTHERWISE NOTED, CLASS 2 A.B. UNDER CURB, GUTTER, AND STREET SECTIONS PAVED WITH ASPHALT CONCRETE SHALL BE COMPACTED TO 95% RELATIVE COMPACTION (MINIMUM).

- NEAR COMPLETION OF THE PROJECT, CONTRACTOR SHALL REPLACE DAMAGED CURB AND GUTTER ALONG PROJECT FRONTAGE AS DIRECTED BY THE CITY ENGINEER.

KIER & WRIGHT GRADING PLAN NOTES:

I. GENERAL:

- ALL GRADING SHALL BE DONE IN ACCORDANCE WITH RECOMMENDATIONS IN THE SOIL AND FOUNDATION INVESTIGATION PREPARED FOR THIS SITE BY CONSULTANT, DATED MONTH XX, XXXX PROJECT NO. XX-XX-XX.
- THE ORGANIC MATERIAL COVERING THE SITE SHALL BE STRIPPED AND STOCKPILED. THE STRIPPINGS SHALL BE USED TO BACKFILL ALL LANDSCAPE PLANTERS AND ROUGH GRADE MOUND AREAS, AS SHOWN ON LANDSCAPE DRAWINGS. TO WITHIN 0.1" OF GRADES SHOWN, EXCESS STRIPPINGS AND EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE BY THE GRADING CONTRACTOR.
- ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.
- COMPACTION TO BE DETERMINED USING ASTM D1557-LATEST EDITION.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES.) HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO ANY SITE WORK. ALL WORK FOR STORM AND SANITARY INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THIS WILL ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UPSTREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY.
- SHOULD DISCREPANCIES EXIST BETWEEN THE ACTUAL ELEVATIONS AND LOCATIONS OF EXISTING UTILITY CONNECTIONS AND THOSE AS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL NOTIFY KIER & WRIGHT CIVIL ENGINEERS AND SURVEYORS, INC., AT (408) 727-6665 BEFORE ADJUSTING UTILITY DESIGN.
- CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY AND SEWER LINES WHERE THEY ARE TO BE RELOCATED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. IF THE CONTRACTOR REQUIRES ASSISTANCE HE SHALL CALL KIER & WRIGHT CIVIL ENGINEERS AND SURVEYORS, INC. AT (408) 727-6665 AND REQUEST A SURVEY CREW TO MAKE THE DETERMINATION. PIPE SHALL NOT BE STRUNG NOR TRENCING COMMENCED UNTIL ALL CROSSINGS HAVE BEEN VERIFIED FOR CLEARANCE. IF THE CONTRACTOR FAILS TO FOLLOW THIS PROCEDURE, HE WILL BE SOLELY RESPONSIBLE FOR ANY EXTRA WORK OR MATERIAL REQUIRED IF MODIFICATIONS TO THE DESIGN ARE NECESSARY.
- THE CONTRACTOR SHALL SET HIS STRING OR WIRE THROUGH AT LEAST THREE GRADE STAKES TO VERIFY THE GRADE. IF THE STAKES DO NOT PRODUCE A UNIFORM GRADE, NOTIFY THE ENGINEER IMMEDIATELY AND HAVE THE GRADES CHECKED PRIOR TO TRENCING.
- STORM DRAIN PIPES DESIGNATED AS "SD FROM 4" TO 24" IN DIAMETER SHALL BE SDR-35 P.V.C. (HANCOR SURE-LOK WT PIPE OR APPROVED EQUAL), CLASS HDPE SMOOTH INTERIOR PIPE PER ASTM D3212 (HANCOR SURE-LOK WT PIPE OR APPROVED EQUAL) OR DUCTILE IRON PIPE (D.I.P.), IF SPECIFIED ON PLANS. NO MATERIAL SUBSTITUTION SHALL BE ALLOWED FOR DUCTILE IRON PIPE. ANY PIPES LARGER THAN 24" IN DIAMETER SHALL BE CLASS III REINFORCED CONCRETE PIPE (R.C.P.). HDPE AND P.V.C. PIPE SHALL ONLY BE USED WHEN THE MANUFACTURER RECOMMENDATION REQUIREMENTS ARE MET. PIPE MADE OF ANY OTHER MATERIAL MAY BE USED ONLY AFTER APPROVAL OF THE ENGINEER.
- ALL UTILITY STRUCTURES INCLUDING, BUT NOT LIMITED TO MANHOLES, CATCH BASINS, WATER VALVES, FIRE HYDRANTS, TELEPHONE AND ELECTRIC VAULTS AND PULL BOXES THAT LIE WITHIN AREAS EFFECTED BY WORK ON THIS PROJECT SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR OR THE RESPECTIVE UTILITY COMPANY. THE CONTRACTOR IS RESPONSIBLE TO AFFECT COORDINATION.
- ALL AREAS TO BE GRADED AT 1% MINIMUM FOR DRAINAGE EXCEPT ALONG FLOWLINE OF CURB AND GUTTER OR VALLEY GUTTER, AS SHOWN.
- CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.
- PROPOSED SPOT GRADES (ELEVATIONS) SHOWN HEREON ARE FINISHED PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS NOTED OTHERWISE.
- ESTIMATED EARTHWORK QUANTITIES: EARTHWORK QUANTITIES SHOWN (IF ANY), OR OTHERWISE SUPPLIED BY KIER & WRIGHT, ARE APPROXIMATE ONLY AND SHOWN FOR THE PURPOSES OF CALCULATING GRADING PERMIT FEES. KIER & WRIGHT ASSUMES NO LIABILITY FOR THE ACCURACY OF THESE QUANTITIES.
- WHEN A GRADING PERMIT IS ISSUED ON THIS PROJECT THE AGENCY APPROVAL APPLIES ONLY TO GRADING. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL OTHER NECESSARY PERMITS TO ACCOMPLISH PROPOSED SITE WORK. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR OBTAIN ALL NECESSARY UNDERGROUND PERMITS BEFORE ROUGH GRADING THE SITE, AS REVISIONS TO UNDERGROUND FACILITIES MANDATED BY PLAN CHECKING AGENCIES MAY SUBSTANTIALLY EFFECT GRADING INCLUDING FINISHED FLOOR ELEVATIONS.
- THE CONTRACTOR SHALL VERIFY THE CONTENTS AND THICKNESSES OF THE BUILDING SLAB SECTION (IE: CONCRETE, SAND, ROCK) WITH THE STRUCTURAL PLANS AND THE ELEVATIONS SHOWN HEREON PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.
- WHERE OFF-SITE DRIVEWAY APPROACHES ARE TO BE CONSTRUCTED THE ON-SITE DRIVEWAY SHALL NOT BE CONSTRUCTED UNTIL THE OFF-SITE IMPROVEMENTS ARE INSTALLED. THE ON-SITE DRIVEWAY SHALL CONFORM TO THE COMPLETED OFF-SITE DRIVEWAY.
- ALL PIPES SHALL HAVE A MINIMUM COVER OF 3" FROM FINISH GRADE UNLESS OTHERWISE SPECIFIED ON THE PLANS.

ISSUED FOR: DATE:
PLANNING SUBMITTAL 1 FEB. 25, 2020

PROJECT NO. 17-3601

DEVELOPER

SC HOTEL DEVELOPMENT LLC

PROJECT

GENERAL PLAN AMENDMENT

SANTA CLARA HILTON

Santa Clara, California



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SHEET

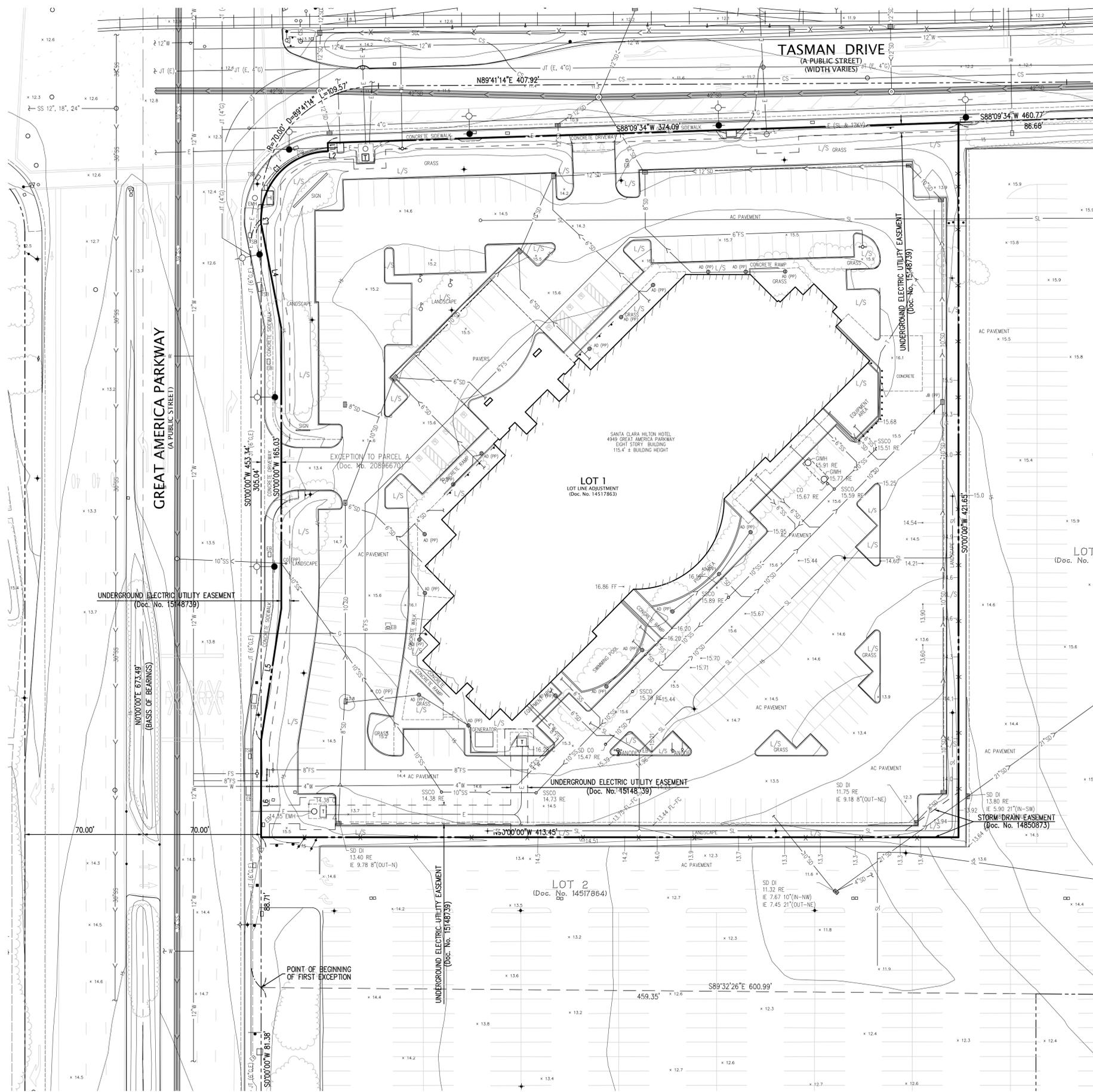
NOTES

SHEET NO.

C1.1



AWBREY COOK ROGERS MCGILL ARCHITECTS + INTERIORS

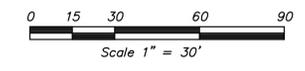


NOTES

- THIS PLOT WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY DATED AS OF MARCH 20, 2017, ORDER NUMBER NCS-842211-SC, FURNISHED TO KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC. BY HILTON SANTA CLARA LAND ON MARCH 27, 2017. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
- ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- THE SUBJECT PROPERTY IS SHOWN ON THE FOLLOWING FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR SANTA CLARA COUNTY, CALIFORNIA, MAP NUMBERS, FOR COMMUNITY PANEL NUMBERS 060350 0063 H, (CITY OF SANTA CLARA), WITH AN EFFECTIVE DATE OF MAY 18, 2009, BEING LOCATED FLOOD ZONE "X". ACCORDING TO FEMA THE DEFINITION OF ZONE "X" IS:

AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

INFORMATION WAS OBTAINED FROM THE FEMA GOVERNMENT WEBSITE (MSC.FEMA.GOV) ON FEBRUARY 27, 2019.
- BENCHMARK: ELEVATIONS SHOWN HEREON ARE BASED ON (NGVD29 OR NAVD88). TO CONVERT TO (NGVD29 OR NAVD88) (ADD OR SUBTRACT) _____ (FROM OR TO) THE ELEVATIONS SHOWN. DATUM CONVERSION WAS OBTAINED FROM THE NGS VERTCON WEBSITE (WWW.NGS.NOAA.GOV/CGI-BIN/VERTCON/VERT_CON.PRL).
- BASIS OF BEARINGS: THE BEARING OF SOUTH 04° 54' 56" EAST TAKEN ON THE CENTERLINE OF CENTENNIAL BOULEVARD AS SHOWN ON THAT CERTAIN PARCEL MAP FILED FOR RECORD ON JULY 13, 1987 IN BOOK 575 OF MAPS AT PAGE 44, SANTA CLARA COUNTY RECORDS WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN HEREON.
- CORNER RECORD NOTE: THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.
- AN INSPECTION OF THE SUBJECT PROPERTY HAS REVEALED THAT THERE ARE TELEPHONE MANHOLES ON OR NEAR THE SUBJECT PROPERTY. A REQUEST WAS MADE OF THE TELEPHONE COMPANY FOR INFORMATION REGARDING THE LOCATION OF THEIR FACILITIES ON THIS SITE. AS OF XX-XX-XX, THEY HAD NOT RESPONDED WITH THIS INFORMATION. UNTIL WE RECEIVE THIS INFORMATION AND ARE ABLE TO DELINEATE THESE FACILITIES ALL PARTIES SHOULD CONSIDER THIS SURVEY AS PRELIMINARY WITH REGARDS TO THE LOCATION OF THE TELEPHONE FACILITIES. UPON RECEIPT OF THIS INFORMATION KIER & WRIGHT WILL UPDATE THIS SURVEY AND REISSUE IT.
- THE AERIAL MAPPING WAS PREPARED USING COMPUTER ASSISTED, PHOTOGRAMMETRIC METHODS BY MIRA SOLUTIONS, INC., IN UNION CITY, CALIFORNIA. JOB NUMBER K&WSC01-2019.005. IN AREAS OF DENSE VEGETATION, ACCURACY OF CONTOURS MAY DEVIATE FROM ACCEPTED ACCURACY STANDARDS. DATE OF PHOTOGRAPHY 01-26-19, ORIGINAL COMPILED MAP SCALE 1"=20', CONTOUR INTERVAL 1 FOOT. THE GRID IS BASED ON A LOCAL, ASSUMED COORDINATE SYSTEM. CONTROL SURVEY PERFORMED BY KIER & WRIGHT, LIVERMORE, CA.



ABBREVIATIONS

CB	CATCH BASIN
CS	COMBINED SYSTEMS DUCT
EB	ELECTRIC BOX
EMH	ELECTRICAL MANHOLE
EV	ELECTRIC VAULT
FH	FIRE HYDRANT
FND	FOUND
JT	JOINT TRENCH
L/S	LANDSCAPE
MON	MONUMENT
NO.	NUMBER
S.F.N.F.	SEARCHED FOR AND NOT FOUND
SD	STORM DRAIN
SL	STREET LIGHT
SS	SANITARY SEWER
TRN	TRANSFORMER
TSB	TRAFFIC SIGNAL BOX
TSP	TRAFFIC SIGNAL POLE
UB	UTILITY BOX

LEGEND

	BUILDING LINE
	CENTERLINE
	CONCRETE/BLOCK/RETAINING WALL
	CONCRETE CURB
	CONCRETE CURB & GUTTER
	CONTOUR LINE
	OBSOURED CONTOUR LINE
	COMBINED SYSTEM DUCTS (LIGHT RAIL)
	DRIVEWAY
	EASEMENT LINE
	EDGE OF PAVEMENT
	ELECTRIC LINE
	FENCE LINE
	JOINT TRENCH
	LOT LINE
	MONUMENT/MONUMENT LINE
	PROPERTY LINE
	RAILROAD TRACKS
	SANITARY SEWER-MANHOLE & CLEANOUT
	SANITARY SEWER OVER 24\"/>
	SIDEWALK
	SPOT ELEVATION
	STORM DRAIN-MANHOLE & CATCH BASIN
	STORM DRAIN OVER 24\"/>
	WATER LINE & VALVE
	AUTOMATIC SPRINKLER RISER
	BACKFLOW PREVENTION DEVICE
	BENCHMARK/TEMPORARY BENCHMARK
	ELECTRODER
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	FLAG POLE
	GAS METER
	HANDICAP SYMBOL
	POST INDICATOR VALVE
	TRANSFORMER
	TRAFFIC SIGNAL POLE
	TRAFFIC SIGN
	TREE
	UTILITY BOX
	UTILITY LINE MARKER
	WALK-BOLLARD LIGHT
	WATER VALVE

DEVELOPER
SC HOTEL DEVELOPMENT LLC

PROJECT
GENERAL PLAN AMENDMENT

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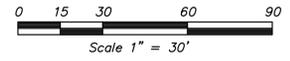
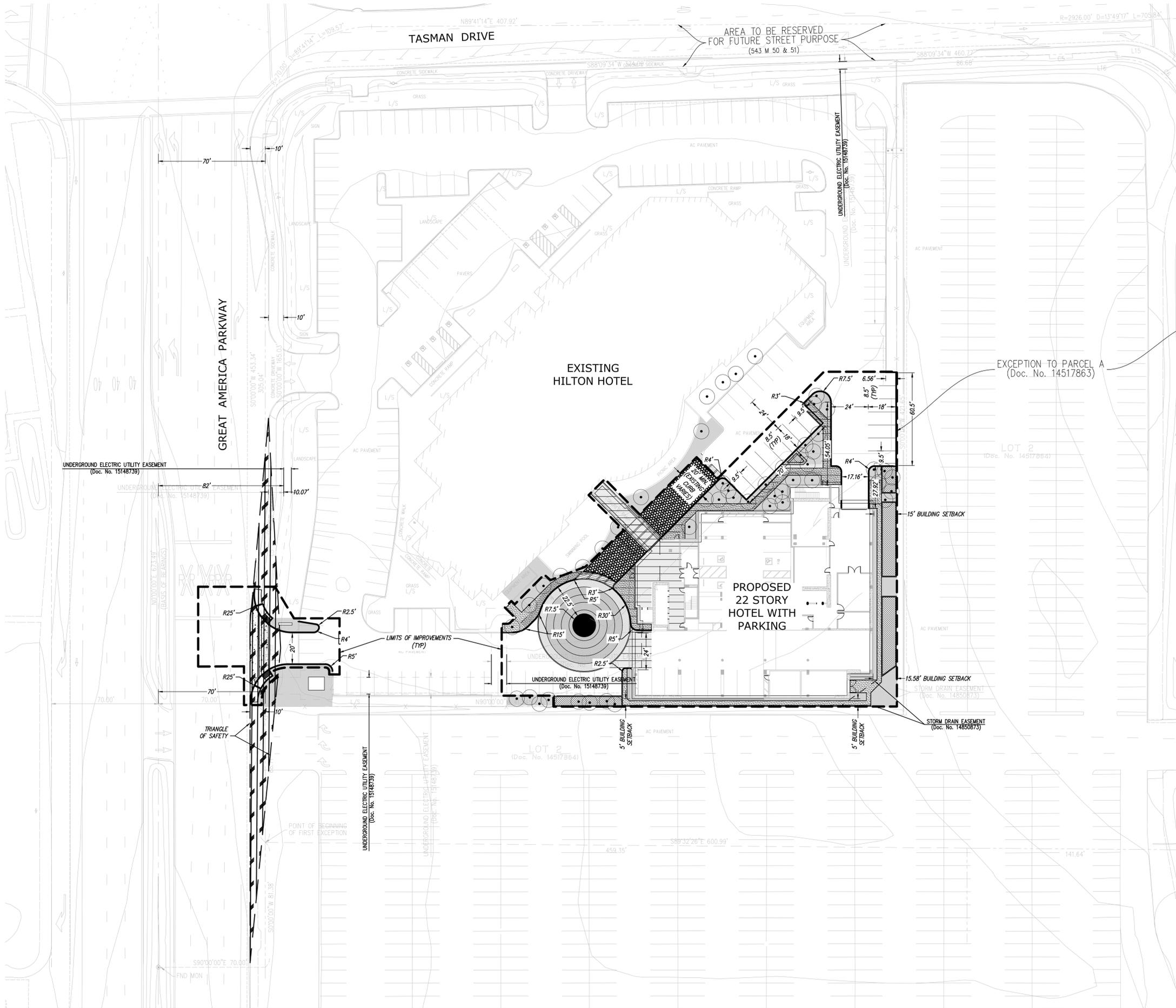
SHEET
TOPOGRAPHIC SURVEY

SHEET NO.
C2.0

ISSUED FOR:	DATE:
PLANNING SUBMITTAL 1	FEB. 25, 2020

PROJECT NO. 17-3601





DEVELOPER

SC HOTEL DEVELOPMENT LLC

PROJECT

GENERAL PLAN AMENDMENT

SANTA CLARA HILTON

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SHEET

SITE PLAN

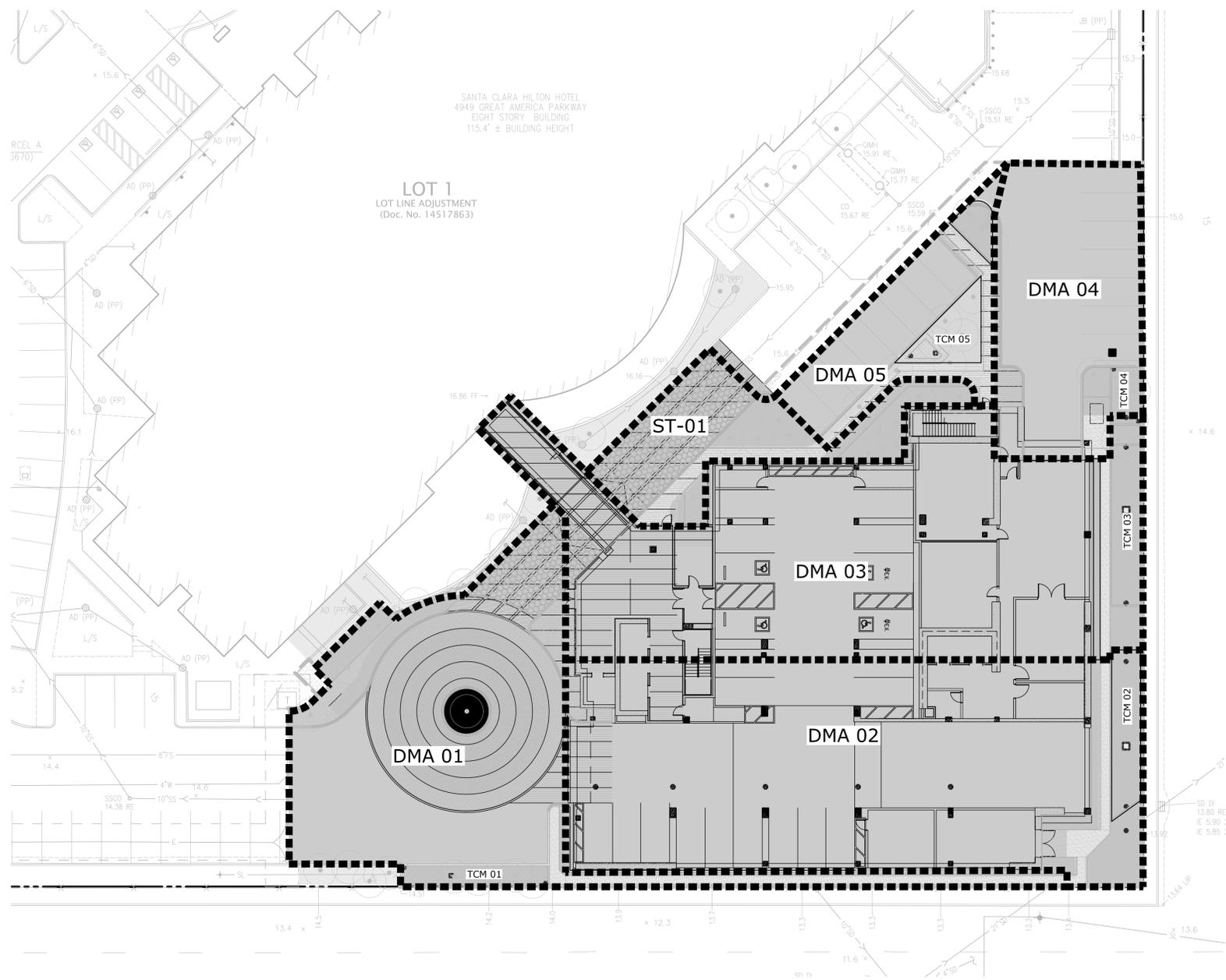
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ISSUED FOR: PLANNING SUBMITTAL 1
 DATE: FEB. 25, 2020

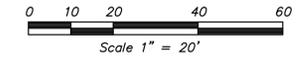
PROJECT NO. 17-3601



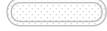


SANTA CLARA HILTON HOTEL
4949 GREAT AMERICA PARKWAY
EIGHT STORY BUILDING
115.4' ± BUILDING HEIGHT

LOT 1
LOT LINE ADJUSTMENT
(Doc. No. 14517863)



LEGEND

-  BIOTREATMENT POND
-  TREATMENT AREA LIMITS
-  TCM TREATMENT CONTROL MEASURE
-  DMA DRAINAGE MANAGEMENT AREA
-  ST SELF TREATING AREA

BIOTREATMENT SUMMARY TABLE

AREA	TCM	TREATMENT TYPE	TOTAL AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	TREATMENT AREA REQ. (SQ. FT.)	TREATMENT AREA PROVIDED (SQ. FT.)	PONDING DEPTH (IN.)
DMA 01	01	FLOW THROUGH PLANTER	7,687	6,258	250	266	6
DMA 02	02	FLOW THROUGH PLANTER	11,264	10,309	413	419	6
DMA 03	03	FLOW THROUGH PLANTER	10,890	10,090	404	420	6
DMA 04	04	FLOW THROUGH PLANTER	3,810	3,566	143	152	6
DMA 05	05	BIOTREATMENT POND	2,382	1,895	76	85	6
ST-01	--	--	2328	307	62	2931	--

DEVELOPER
SC HOTEL DEVELOPMENT LLC

PROJECT
GENERAL PLAN AMENDMENT

SANTA CLARA HILTON
Santa Clara, California

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SHEET
STORMWATER MANAGEMENT PLAN

SHEET NO.
C6.0

ISSUED FOR:	DATE:
PLANNING SUBMITTAL 1	FEB. 25, 2020

PROJECT NO. 17-3601



Z:\2019\17-3601\DWG\CIVIL\ENTITLEMENTS\17-3601-PC-SWM.dwg 2-05-20 03:43:34 PM amecker

BIOTREATMENT MAINTENANCE NOTES

INSPECTION ACTIVITIES	SUGGESTED FREQUENCY
<ul style="list-style-type: none"> INSPECT AFTER SEEDING AND AFTER FIRST MAJOR STORMS FOR ANY DAMAGES. 	POST-CONSTRUCTION
<ul style="list-style-type: none"> INSPECT FOR SIGNS OF EROSION, DAMAGE TO VEGETATION, CHANNELIZATION OF FLOW, DEBRIS AND LITTER, AND AREAS OF SEDIMENT ACCUMULATION. PERFORM INSPECTIONS AT THE BEGINNING AND END OF THE WET SEASON. ADDITIONAL INSPECTIONS AFTER PERIODS OF HEAVY RUNOFF ARE DESIRABLE. 	SEMI-ANNUAL
<ul style="list-style-type: none"> INSPECT GRASS ALONG SIDE SLOPES FOR EROSION AND FORMATION OF RILLS OR GULLIES, AND SAND/SOIL BED FOR EROSION PROBLEMS. 	ANNUAL
MAINTENANCE ACTIVITIES	SUGGESTED FREQUENCY
<ul style="list-style-type: none"> MOW GRASS TO MAINTAIN A HEIGHT OF 3-4 INCHES, FOR SAFETY, AESTHETIC, OR OTHER PURPOSES. LITTER SHOULD ALWAYS BE REMOVED PRIOR TO MOWING. CLIPPINGS SHOULD BE COMPOSTED. IRRIGATE DURING DRY SEASON (APRIL THROUGH OCTOBER) OR WHEN NECESSARY TO MAINTAIN THE VEGETATION. PROVIDE WEED CONTROL, IF NECESSARY TO CONTROL INVASIVE SPECIES. 	AS NEEDED (FREQUENT, SEASONALLY)
<ul style="list-style-type: none"> REMOVE LITTER, BRANCHES, ROCKS BLOCKAGES AND OTHER DEBRIS AND DISPOSE OF PROPERLY. REPAIR ANY DAMAGED AREAS IDENTIFIED DURING INSPECTIONS. EROSION RILLS OR GULLIES SHOULD BE CORRECTED AS NEEDED. BARE AREAS SHOULD BE REPLANTED AS NECESSARY. 	SEMI-ANNUAL
<ul style="list-style-type: none"> CORRECT EROSION PROBLEMS IN THE SAND/SOIL BED. PLANT AN ALTERNATIVE GRASS SPECIES IF THE ORIGINAL GRASS COVER HAS NOT BEEN SUCCESSFULLY ESTABLISHED. RESEED AND APPLY MULCH TO DAMAGED AREAS. 	ANNUAL (AS NEEDED)
<ul style="list-style-type: none"> REMOVE ALL ACCUMULATED SEDIMENT THAT MAY OBSTRUCT THE PROPER OPERATION OF THE BIO TREATMENT POND. SEDIMENT SHOULD BE REMOVED WHEN IT BUILDS UP TO 3 IN. AT ANY SPOT, OR COVERS VEGETATION, OR ONCE IT HAS ACCUMULATED TO 10% OF THE ORIGINAL DESIGN VOLUME. REPLACE THE GRASS AREAS DAMAGED IN THE PROCESS. ROTOILL OR CULTIVATE THE SURFACE OF THE SAND/SOIL BED OF IF THE TREATMENT AREA DOES NOT DRAW DOWN WITHIN 48 HOURS. 	AS NEEDED (INFREQUENT)

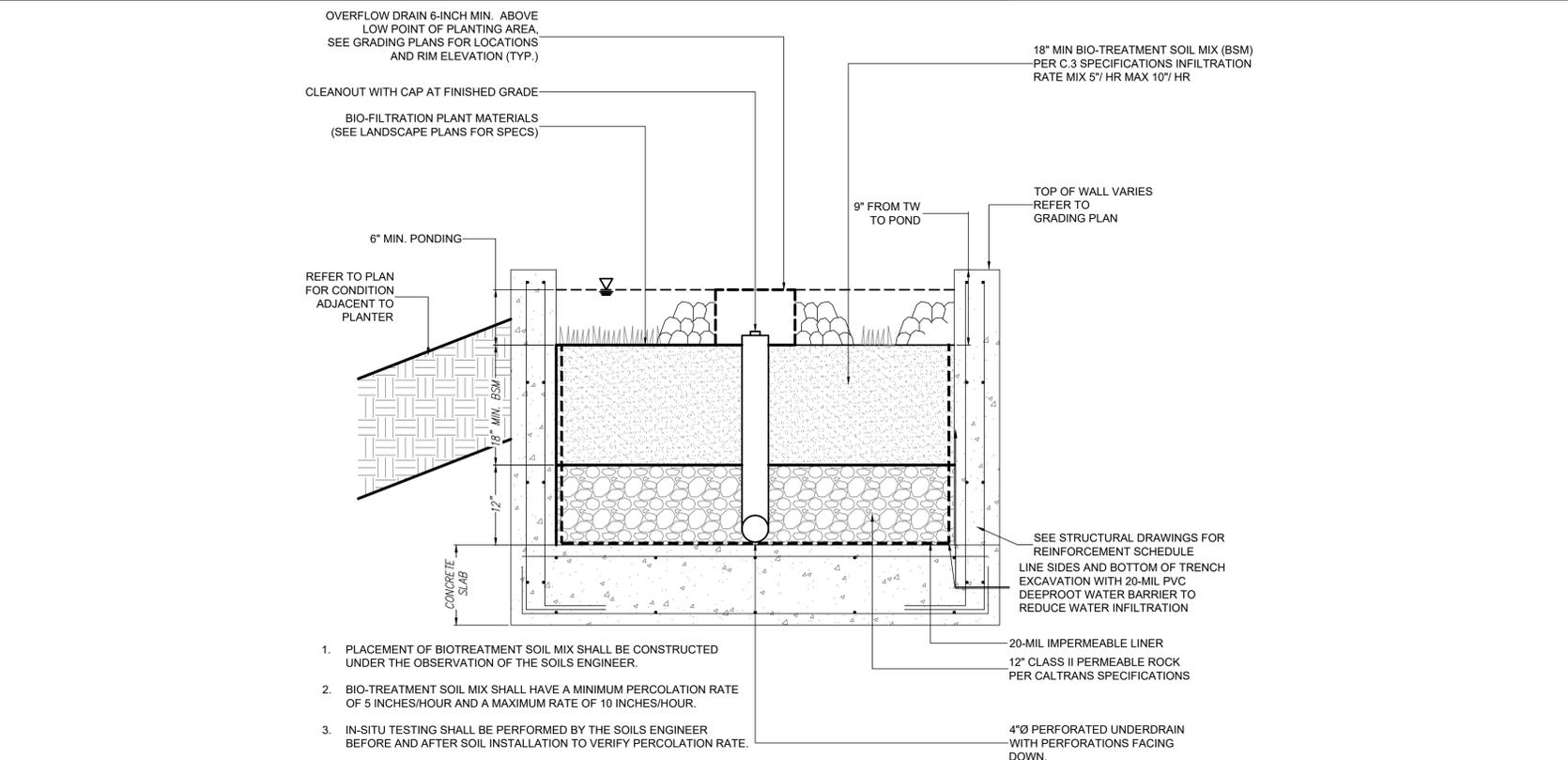
STORMWATER CONTROL NOTES

- THE EXISTING SITE SOILS ARE ASSUMED TO CONSIST OF CLAY (TYPE D) SOILS.
- THE SITE STORM DRAIN RUNOFF WILL BE FILTERED BY BIOTREATMENT AREAS. ALL STORMWATER DRAINS TO THE PUBLIC STORM DRAIN SYSTEM WITHIN TASMAN DRIVE.
- POTENTIAL POLLUTANTS INCLUDE MOTOR VEHICLE LUBRICANTS, COOLANTS, DISC BRAKE DUST, LITTER AND DEBRIS. POLLUTANT SOURCE AREAS INCLUDE THE ASPHALT CONCRETE PARKING LOT AND DRIVE AISLES, THE ROOF OF THE BUILDING, AND THE SITE STORM DRAIN INLETS. ALL INLETS WILL BE MARKED "NO DUMPING - DRAINS TO BAY". THE PARKING LOT SHALL BE SWEEP REGULARLY TO PREVENT THE ACCUMULATION OF LITTER AND DEBRIS.
- BIOTREATMENT AREA SHOWN ARE SCHEMATIC AND WILL BE ADJUSTED DURING FINAL DESIGN.
- STORMWATER IS INTENDED TO ENTER BIOTREATMENT AREAS FROM PAVED AREAS VIA CURB SLOTS ADJACENT TO POND. DOWNSPOUTS WILL BE CONNECTED AND WILL DISCHARGE TO THE TREATMENT PONDS.
- CALL THE PUBLIC WORKS INSPECTOR AT 408-866-2150 AT LEAST 24 HOURS IN ADVANCE FOR ALL 5 BIOTREATMENT FACILITY INSPECTIONS. INSPECTIONS INCLUDE BUT ARE NOT LIMITED TO, DEPTH OF TREATMENT AREA, SIDE SLOPES, PIPING, BACKFILL, AND LANDSCAPING.

SOURCE CONTROL & SITE DESIGN MEASURES IMPLEMENTED

- SITE DESIGN:**
- MINIMIZE LAND DISTURBANCE
 - MINIMIZE IMPERVIOUS SURFACE
- SOURCE CONTROL:**
- STORM DRAIN LABELING
 - BENEFICIAL LANDSCAPING (MINIMIZES IRRIGATION, RUNOFF, PESTICIDES AND FERTILIZERS; PROMOTES TREATMENT)
 - MAINTENANCE (PAVEMENT SWEEPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING)

BIOTREATMENT POND



FLOW THROUGH PLANTER

- PLACEMENT OF BIOTREATMENT SOIL MIX SHALL BE CONSTRUCTED UNDER THE OBSERVATION OF THE SOILS ENGINEER.
- BIOTREATMENT SOIL MIX SHALL HAVE A MINIMUM PERCOLATION RATE OF 5 INCHES/HOUR AND A MAXIMUM RATE OF 10 INCHES/HOUR.
- IN-SITU TESTING SHALL BE PERFORMED BY THE SOILS ENGINEER BEFORE AND AFTER SOIL INSTALLATION TO VERIFY PERCOLATION RATE.

NOTE: SURFACE AREA OF THE BIOTREATMENT SOIL SHALL EQUAL 4% OF THE AREA OF THE SITE THAT DRAINS TO TREATMENT MEASURE, UNLESS SIZING CALCULATIONS ARE SUBMITTED DEMONSTRATING THAT PROVISION C.3 REQUIREMENTS ARE MET USING A SMALLER SURFACE AREA.

OPTIONAL MOUNDING PARAMETERS: PLANTING MOUNDS CONSTRUCTED OF BSM MAY BE PROVIDED SUBJECT TO MUNICIPAL APPROVAL. TOP OF MOUNDS AT LEAST 2" BELOW CREST OF OVERFLOW RISER, LOW POINTS NO MORE THAN 12" BELOW CREST OF OVERFLOW RISER

OVERFLOW RISER WITH GRATE CHRISTY #12 12"x12" DRAIN BOX OR APPROVED EQUAL. DOME GRATE MAY BE ADEQUATE IN SOME CASES, SUBJECT TO LOCAL AGENCY APPROVAL. 6-INCH MINIMUM 12-INCH MAXIMUM ABOVE LOW POINT OF PLANTING AREA

GRAVITY DRAIN TO STORM DRAIN OR DISCHARGE; BOTTOM-OUT OR SIDE-OUT OPTIONS (USE CHRISTY #12 DRAIN BOX FOR SIDE-OUT OPTION)

1

2

ISSUED FOR: PLANNING SUBMITTAL 1 DATE: FEB. 25, 2020

PROJECT NO. 17-3601

DEVELOPER

SC HOTEL DEVELOPMENT LLC

PROJECT

GENERAL PLAN AMENDMENT

SANTA CLARA HILTON

Santa Clara, California

KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.

3350 Scott Blvd., building #22 Santa Clara, California 95054 Phone (408) 727-6665 Fax (925) 245-8796 www.kierwright.com

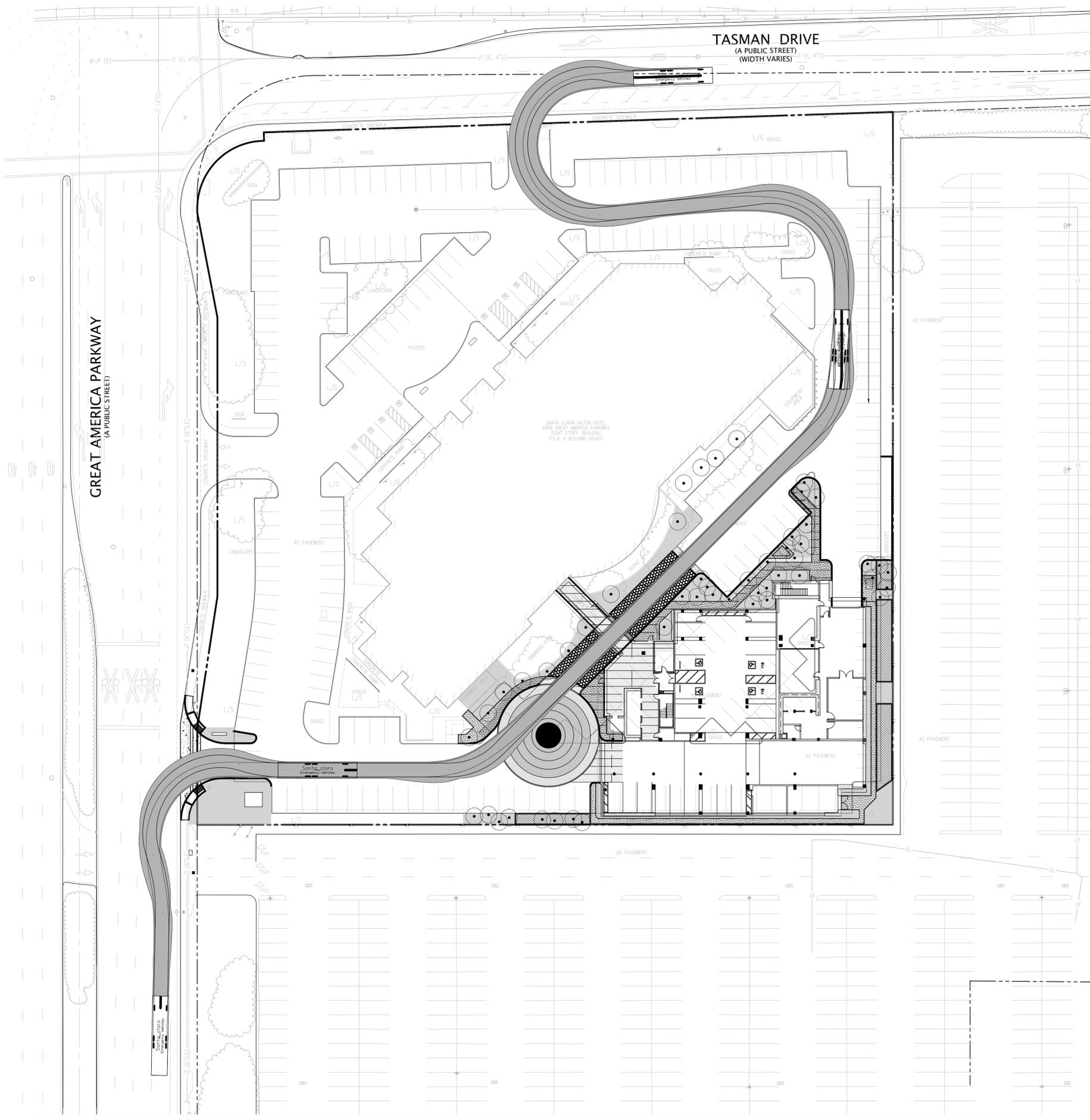
SHEET

STORMWATER MANAGEMENT DETAILS & NOTES

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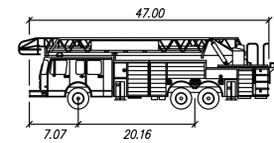
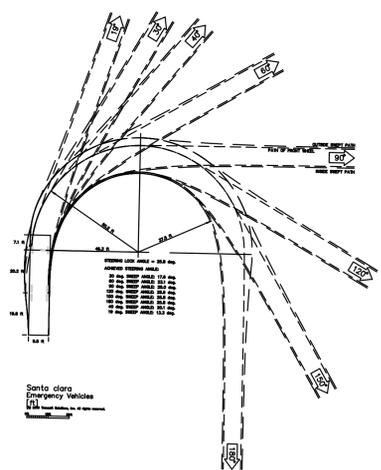
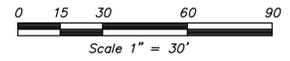
C6.1

ACRM AWBREY COOK ROGERS MCGILL ARCHITECTS + INTERIORS



TASMAN DRIVE
(A PUBLIC STREET)
(WIDTH VARIES)

GREAT AMERICA PARKWAY
(A PUBLIC STREET)



SANTA CLARA	FEET
WIDTH	: 9.50
TRACK	: 8.20
LOCK TO LOCK TIME	: 6.0
STEERING ANGLE	: 25.8

DEVELOPER
SC HOTEL
DEVELOPMENT LLC

PROJECT
GENERAL PLAN
AMENDMENT

**SANTA CLARA
HILTON**

Santa Clara,
California

KIER & WRIGHT
CIVIL ENGINEERS &
SURVEYORS, INC.
3350 Scott Blvd., building #22
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SHEET
FIRE ACCESS
PLAN

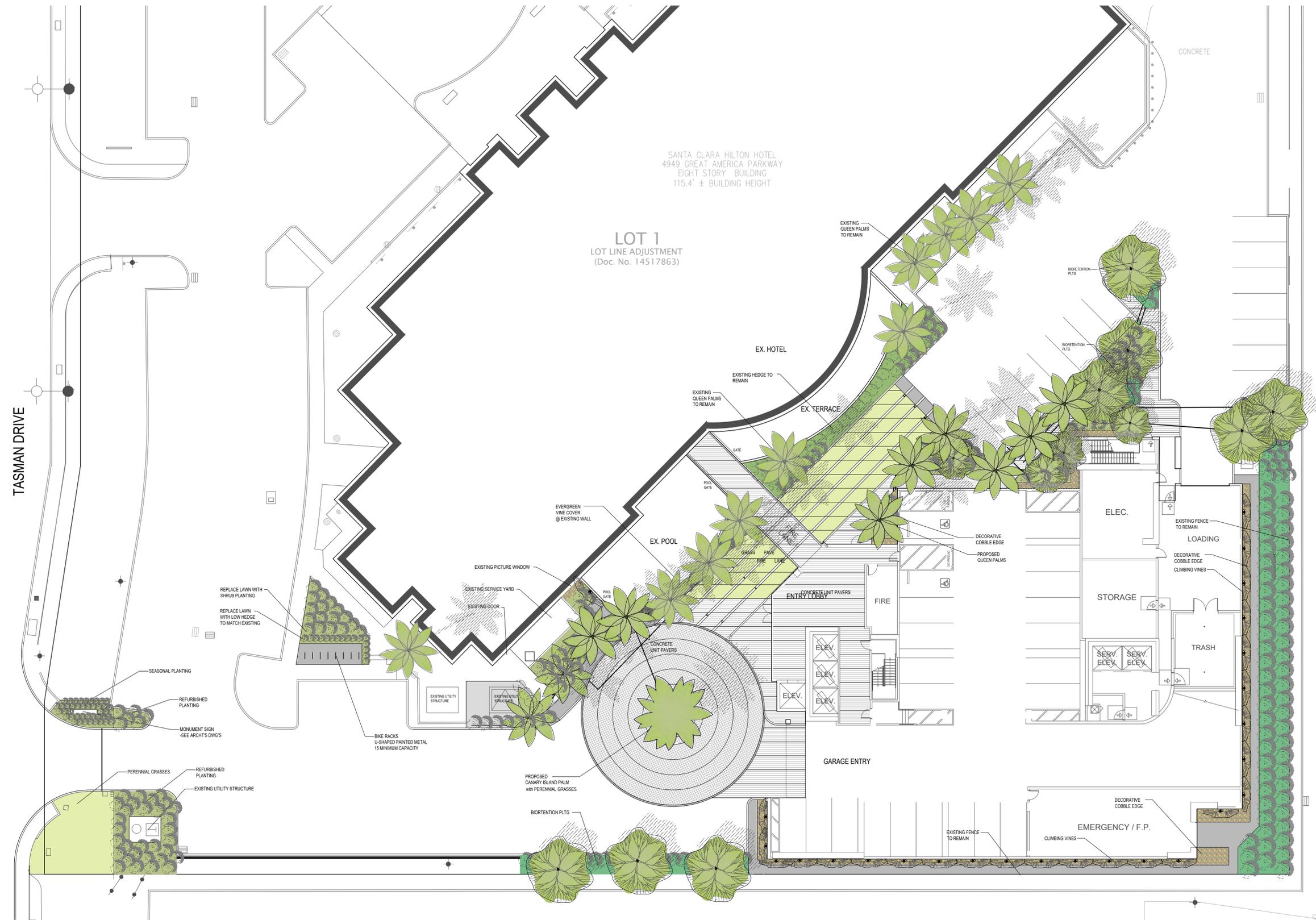
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ISSUED FOR: PLANNING SUBMITTAL 1 DATE: FEB. 25, 2020

PROJECT NO. 17-3601



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LANDSCAPE SITE PLAN

SCALE: 1/16" = 1'-0"

LEGEND	
	EXISTING TREES TO REMAIN
	EXISTING PLANTING TO REMAIN
	PROPOSED PLANTING
	BIODETENTION PLANTING
	CONCRETE PAVING -FRENCH GREY COLOR
	SPECIAL VEHICULAR PAVING -CONCRETE UNITS
	PLAZA PAVING -CONCRETE UNITS
	PERMEABLE PAVING -GRASS PAVE UNITS
	DECORATIVE COBBLE EDGE -6-9" RIVERWASHED -TO MATCH EXISTING ON SITE

ISSUED FOR: PLANNING SUBMITTAL 1
DATE: FEB. 25, 2020

PROJECT NO. 17-3601

DEVELOPER

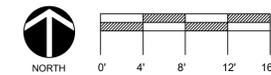
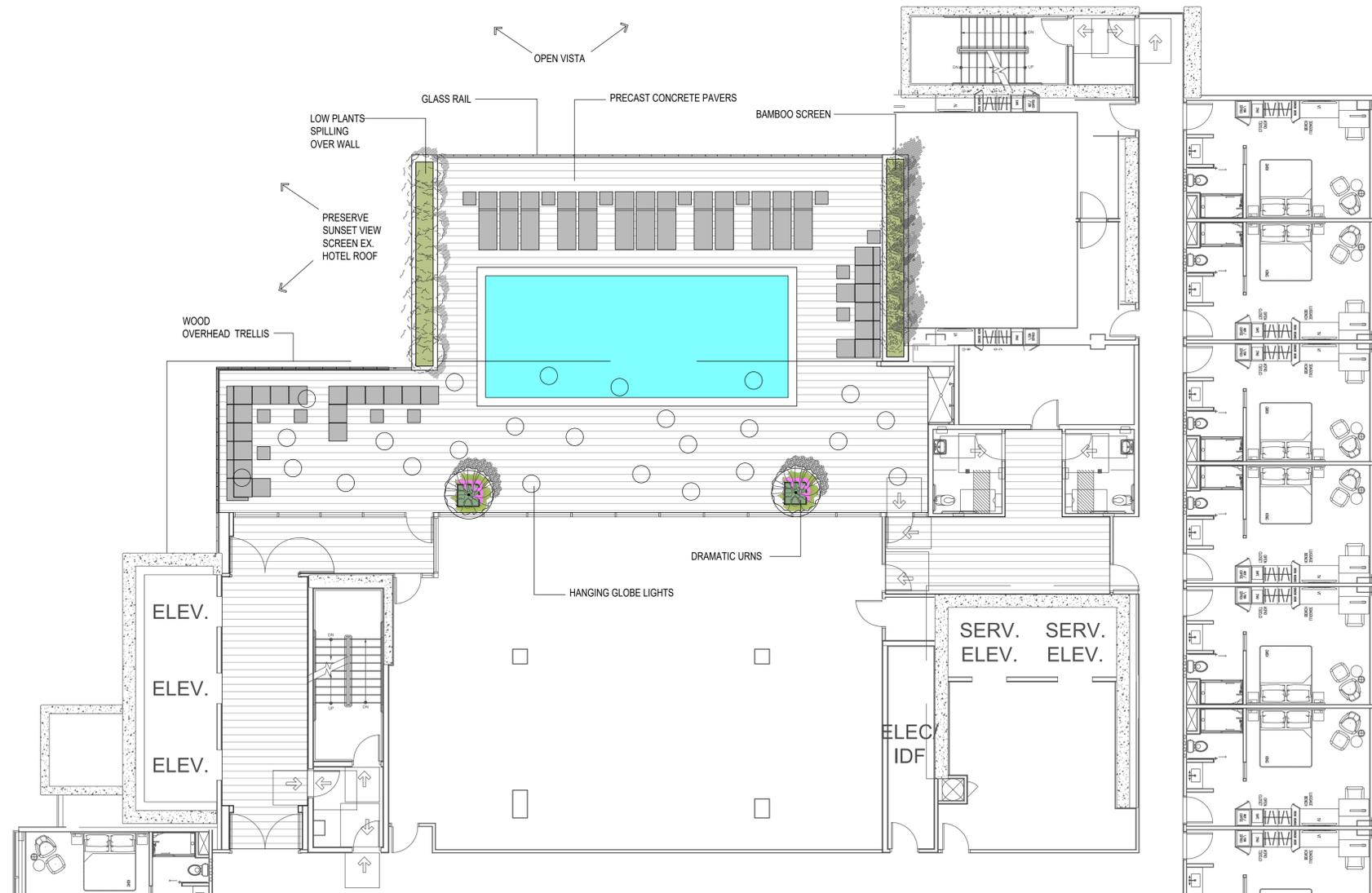
SC HOTEL
DEVELOPMENT LLC

PROJECT

GENERAL PLAN
AMENDMENT

SANTA CLARA
HILTON

Santa Clara,
California



POOL TERRACE LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

SHEET

POOL TERRACE
LANDSCAPE PLAN

SHEET NO.

L1.1

ISSUED FOR: PLANNING SUBMITTAL 1
DATE: FEB. 25, 2020

PROJECT NO. 17-3601



DEVELOPER

SC HOTEL DEVELOPMENT LLC

PROJECT

GENERAL PLAN AMENDMENT

SANTA CLARA HILTON

Santa Clara, California

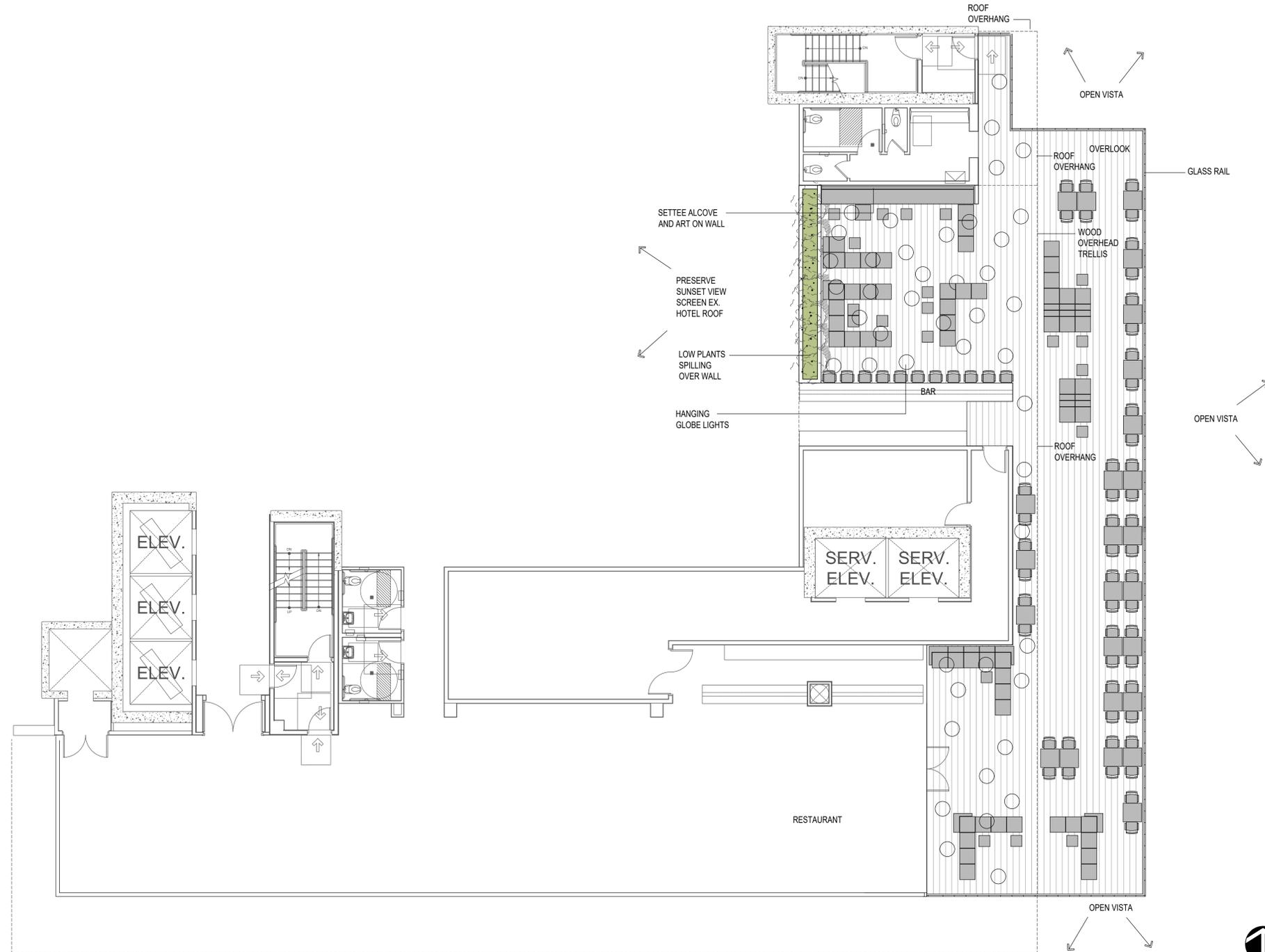
SHEET

ROOF TERRACE LANDSCAPE PLAN

SHEET NO.

L1.2

ACRM
AWBREY COOK ROGERS MCGILL
ARCHITECTS + INTERIORS



ROOF TERRACE LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

ISSUED FOR:	DATE:
PLANNING SUBMITTAL 1	FEB. 25, 2020

PROJECT NO. 17-3601



EXISTING QUEEN PALMS



ACCENT CANARY ISLAND PALM

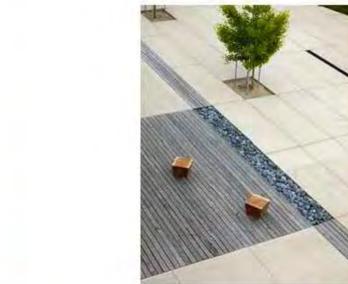


CLIMBING VINES

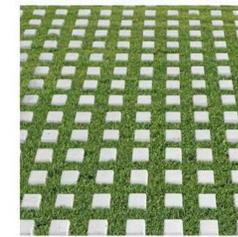


FLOWERING VINES

SITE STRUCTURAL PLANTING



MODULAR UNIT PAVERS



PERMEABLE GRASS PAVERS

SITE PAVING



OVERHEAD WOOD TRELLIS & HANGING LIGHT GLOBES



BAMBOO SCREENS



FANCIFUL PLANTERS



SEATING ALCOVE & WALL ART
OVERHEAD WOOD TRELLIS &
HANGING LIGHT GLOBES



COMFORTABLE MODULAR SEATING



MODULAR UNIT TERRACE PAVERS

POOL TERRACE

ROOF TERRACE

DEVELOPER

SC HOTEL
DEVELOPMENT LLC

PROJECT

GENERAL PLAN
AMENDMENT

SANTA CLARA
HILTON

Santa Clara,
California

SHEET

LANDSCAPE
PRECEDENT IMAGES

SHEET NO.

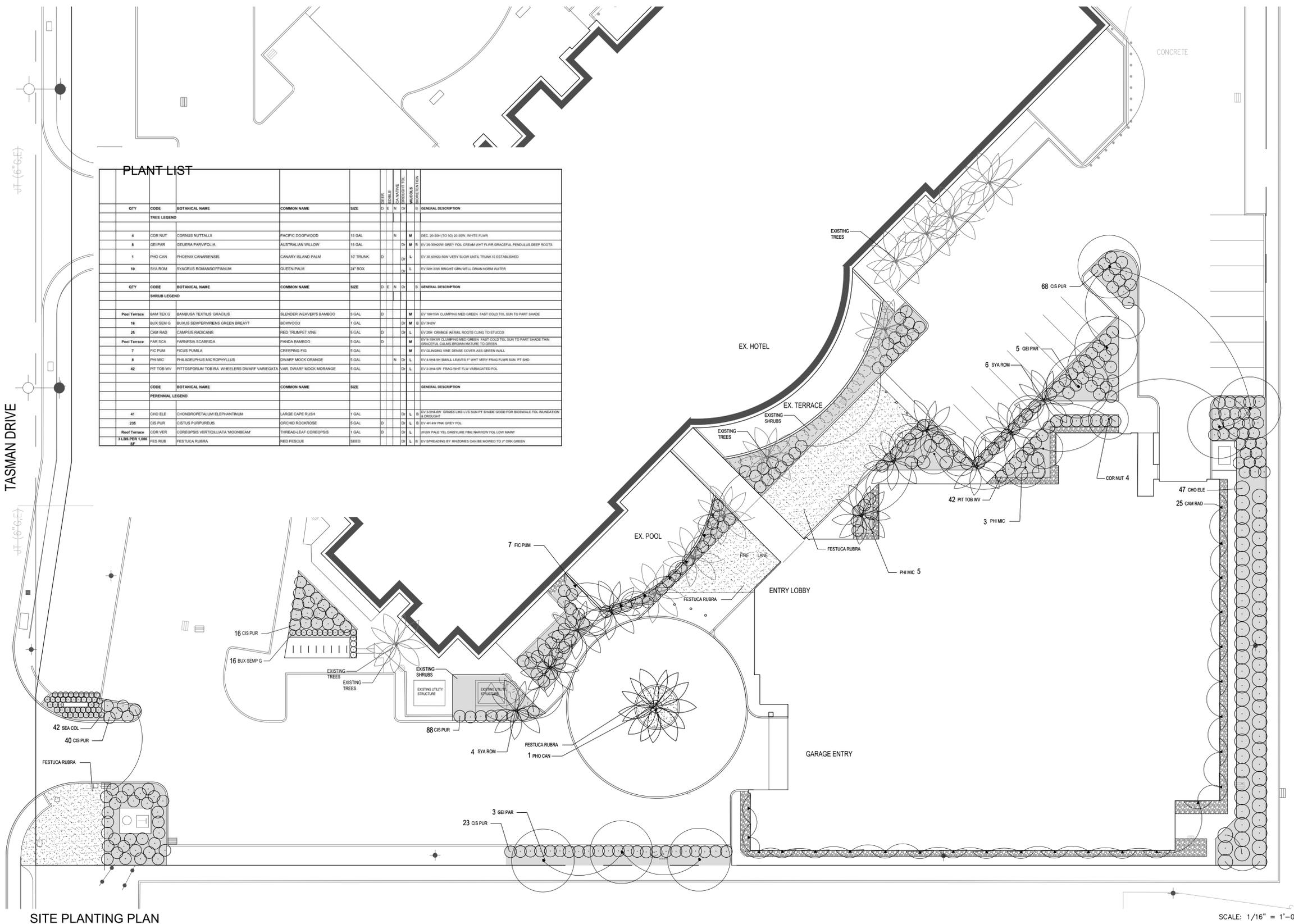
L1.3

ISSUED FOR: PLANNING SUBMITTAL 1 DATE: FEB. 25, 2020

Four empty rectangular boxes for revision tracking.

PROJECT NO. 17-3601



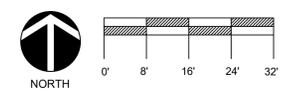


PLANT LIST

QTY	CODE	BOTANICAL NAME	COMMON NAME	SIZE	D	E	N	S	GENERAL DESCRIPTION
TREE LEGEND									
4	COR NUT	CORNUS NUTTALLII	PACIFIC DOGWOOD	15 GAL			N	M	DEC. 20-30H (TO 50) 20-30W, WHITE FLWR
8	GEI PAR	GEUERA PARVIFOLIA	AUSTRALIAN WILLOW	15 GAL			D	M	EV 25-30X20W GREY FOL. CREAM WHT FLWR GRACEFUL, PENDULUS DEEP ROOTS
1	PHO CAN	PHOENIX CANARIENSIS	CANARY ISLAND PALM	10" TRUNK	D			L	EV 30-40X20-30W VERY SLDR UNITS, TRUNK IS ESTABLISHED
16	SYA ROM	SYAGRUS ROMANSOFFIANUM	QUEEN PALM	24" BOX				L	EV 50H 20W BRIGHT GRN WELL DRKN NORM WATER
SHRUB LEGEND									
Pool Terrace									
16	BAM TEX G	BAMBUSA TEXTILIS GRACILIS	SLENDER WEAVER'S BAMBOO	5 GAL	D			M	EV 18H15W CLUMPING MED GREEN. FAST COLD TOL. SUN TO PART SHADE
16	BUX SEM G	BUXUS SEMPERVIRENS GREEN BREATHT	BOXWOOD	1 GAL	D			M	EV 18X20W
25	CAM RAD	CAMPIDIS RADICANS	RED TRUMPET VINE	5 GAL	D			L	EV 20H ORANGE AERIAL ROOTS CLING TO STUCCO
Pool Terrace									
7	FIC PUM	FICUS PUMILA	PANDA BAMBOO	5 GAL	D			M	EV 4-10X10W CLUMPING MED GREEN. FAST COLD TOL. SUN TO PART SHADE. THIN GRACIOUS. CULMS BROWN MATURE TO GREEN
8	PHI MC	PHILADELPHUS MICROPHYLLUS	CREeping FIG	5 GAL				L	EV 50X10W VINE DENSE COVER ASS GREEN WALL
42	PHI TOB WV	PITTOSPORUM TOBIIRA WHEELERS DWARF VARIEGATA	DWARF MOCK ORANGE	5 GAL	N			L	EV 4-5H 5H SMALL LEAVES 1" WHT VERY FRAG FLWR SUN PT SHD
Roof Terrace									
3	LBS PUR TURB	FESTUCA RUBRA	RED FESCUE	SEED	D			L	EV 2-3H 5W FRAG WHT FLWR VARIEGATED FOL.
PERENNIAL LEGEND									
41	CHO ELE	CHONDROPETALUM ELEPHANTINUM	LARGE CAPE RUSH	1 GAL	D			L	EV 3-5H 4W GRASS LIKE LVS SUN PT SHADE GOOD FOR BIRDBALD TOL. INUNDATION & DROUGHT
235	CIS PUR	CISTUS PURPUREUS	ORCHID ROCKROSE	5 GAL	D			L	EV 4H 4W PINK GREY FOL.
Roof Terrace									
3	LBS PUR TURB	FESTUCA RUBRA	RED FESCUE	SEED	D			L	EV 2-3H 5W FRAG WHT FLWR VARIEGATED FOL.

LEGEND

- EXISTING TREES TO REMAIN
- EXISTING PLANTING TO REMAIN
- MULCH -3" MINIMUM DEPTH
- DECORATIVE COBBLE EDGE -6-9" RIVERWASHED -TO MATCH EXISTING ON SITE
- PERENNIAL GRASS -FESTUCA RUBRA -SEEDED 3 LBS./1,000 S.F.



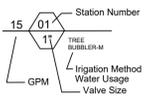
SCALE: 1/16" = 1'-0"

ISSUED FOR: PLANNING SUBMITTAL 1 DATE: FEB. 25, 2020

PROJECT NO. 17-3601

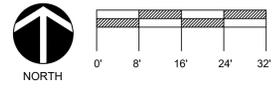
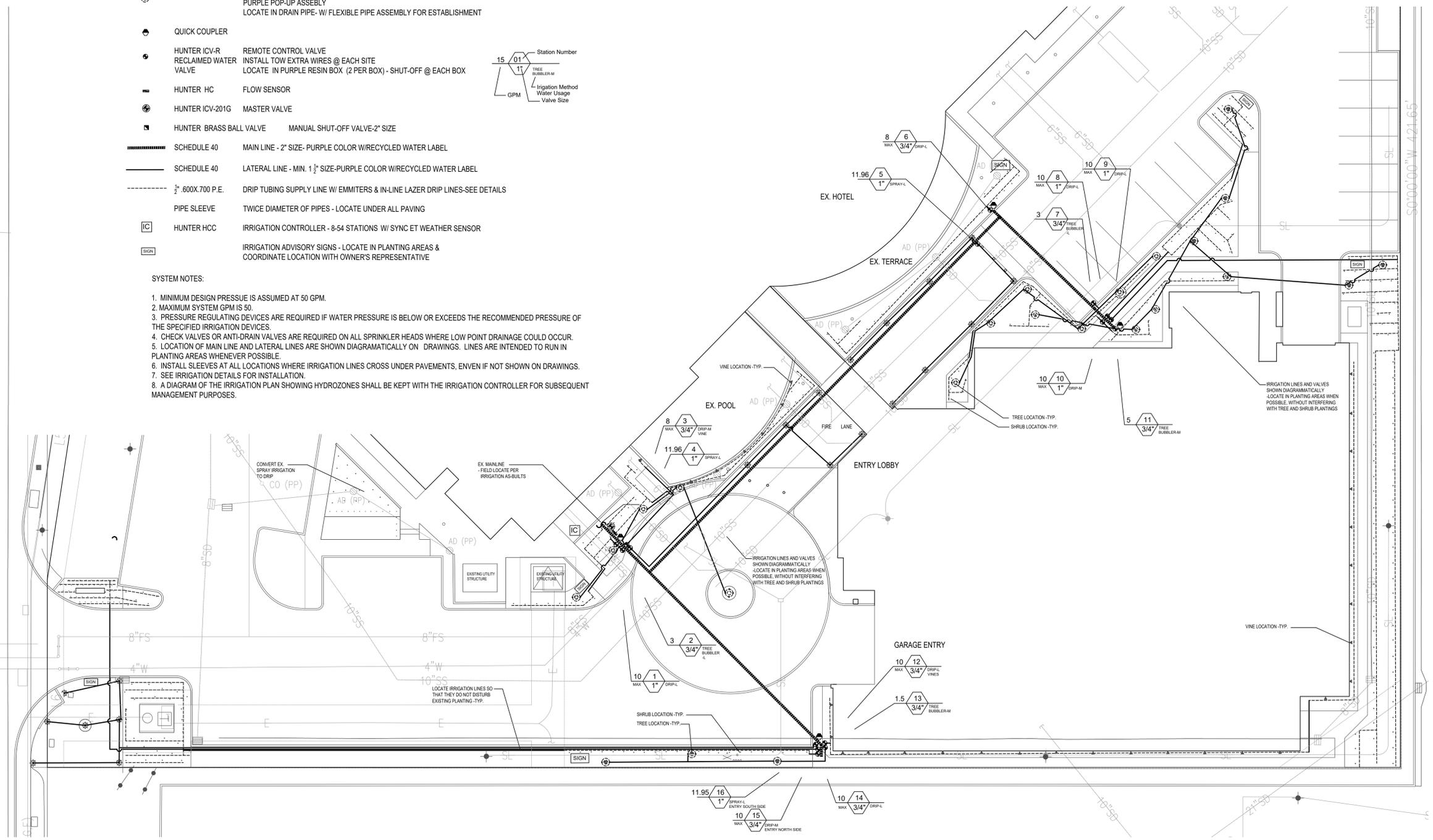
LEGEND

SYMBOL	MANUF./MODEL	DESCRIPTION	GPM
	HUNTER ROTATOR MP3000	PURPLE POP-UP ADJUSTABLE ARC NOZEL 22 TO 30' RADIUS	Q=95 H=2.04 F=4.07 GPM
	HUNTER/PCN 25	FLOOD BUBBLER-2 PER TREE PURPLE POP-UP ASSEMBLY LOCATE IN DRAIN PIPE- W/ FLEXIBLE PIPE ASSEMBLY FOR ESTABLISHMENT	25 GPM
	QUICK COUPLER		
	HUNTER ICV-R	REMOTE CONTROL VALVE INSTALL TOW EXTRA WIRES @ EACH SITE LOCATE IN PURPLE RESIN BOX (2 PER BOX) - SHUT-OFF @ EACH BOX	
	HUNTER HC	FLOW SENSOR	
	HUNTER ICV-201G	MASTER VALVE	
	HUNTER BRASS BALL VALVE	MANUAL SHUT-OFF VALVE-2" SIZE	
	SCHEDULE 40	MAIN LINE - 2" SIZE- PURPLE COLOR W/RECYCLED WATER LABEL	
	SCHEDULE 40	LATERAL LINE - MIN. 1 1/2" SIZE-PURPLE COLOR W/RECYCLED WATER LABEL	
	3/4" .600X.700 P.E.	DRIP TUBING SUPPLY LINE W/ EMMITERS & IN-LINE LAZER DRIP LINES-SEE DETAILS	
	PIPE SLEEVE	TWICE DIAMETER OF PIPES - LOCATE UNDER ALL PAVING	
	HUNTER HCC	IRRIGATION CONTROLLER - 8-54 STATIONS W/ SYNC ET WEATHER SENSOR	
	IRRIGATION ADVISORY SIGNS	LOCATE IN PLANTING AREAS & COORDINATE LOCATION WITH OWNER'S REPRESENTATIVE	



SYSTEM NOTES:

1. MINIMUM DESIGN PRESSURE IS ASSUMED AT 50 GPM.
2. MAXIMUM SYSTEM GPM IS 50.
3. PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
4. CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.
5. LOCATION OF MAIN LINE AND LATERAL LINES ARE SHOWN DIAGRAMMATICALLY ON DRAWINGS. LINES ARE INTENDED TO RUN IN PLANTING AREAS WHENEVER POSSIBLE.
6. INSTALL SLEEVES AT ALL LOCATIONS WHERE IRRIGATION LINES CROSS UNDER PAVEMENTS, EVEN IF NOT SHOWN ON DRAWINGS.
7. SEE IRRIGATION DETAILS FOR INSTALLATION.
8. A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.



SITE IRRIGATION PLAN

SCALE: 1/16" = 1'-0"

NOTES:

- SOIL: ALL LANDSCAPE AREAS SHALL INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR CUBIC YARDS PER 1,000 SQUARE FEET TO A DEPTH OF SIX INCHES. A SOIL MANAGEMENT REPORT SHALL BE SUBMITTED WITH THE CERTIFICATE OF COMPLETION, AS THE PROJECT INCLUDES MASS GRADING.
- MULCH: MINIMUM THREE INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, WITH THE EXCEPTION OF SEEDED GRASSES AND WILDFLOWERS.
- IRRIGATION:
 - PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELLOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
 - CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.
 - A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
 - A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
 - AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

STATEMENTS OF COMPLIANCE:

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLANS.

Reed
SANDRA M. REED - LANDSCAPE ARCHITECT DATE: 06-11-2019

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

Reed
SANDRA M. REED - LANDSCAPE ARCHITECT DATE: 06-11-2019

ISSUED FOR:	DATE:
PLANNING SUBMITTAL 1	FEB. 25, 2020

DEVELOPER
SC HOTEL DEVELOPMENT LLC

PROJECT
GENERAL PLAN AMENDMENT

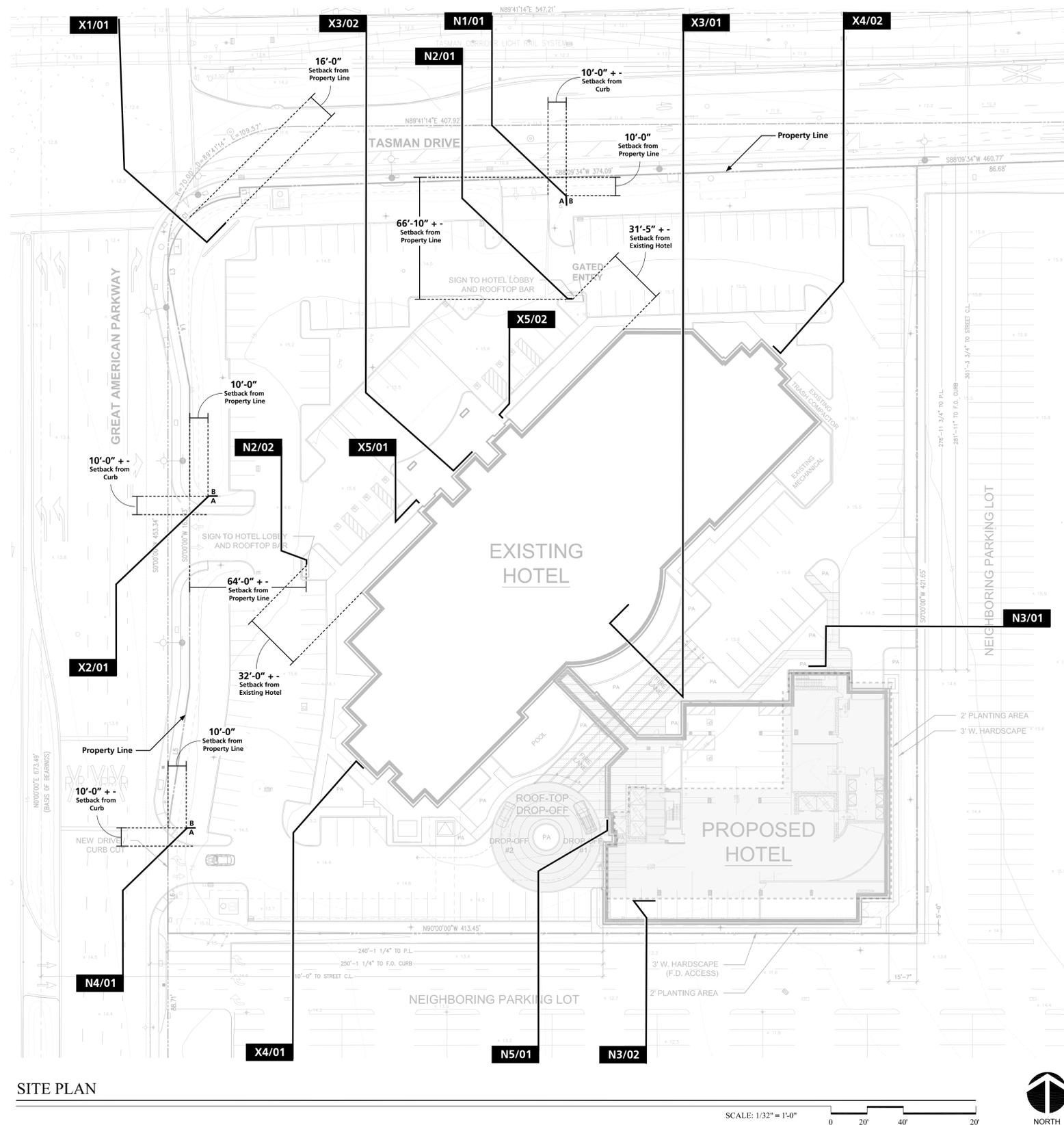
SANTA CLARA HILTON
Santa Clara, California

SHEET
SITE IRRIGATION PLAN

SHEET NO.
L3.0



PROJECT NO. 17-3601

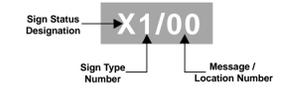


SITE PLAN

SCALE: 1/32" = 1'-0"



SIGN TYPE KEY	
EXISTING SIGNAGE	
X1/00:	Existing Primary Monument Sign
X2/00:	Existing Secondary Monument Sign
X3/00:	Existing Primary Wall Sign
X4/00:	Existing Logo Wall Sign
X5/00:	Existing Logo Porte Cochere Sign
NEW / PROPOSED SIGNAGE	
N1/00:	New Secondary Monument Sign with Restaurant Identification
N2/00:	New Vehicular Directional Sign
N3/00:	New Primary Wall Sign
N4/00:	New Restaurant Monument Sign
N5/00:	New Restaurant Identification Wall Sign



DEVELOPER
SC HOTEL DEVELOPMENT LLC

PROJECT
GENERAL PLAN AMENDMENT

SANTA CLARA HILTON
Santa Clara, California

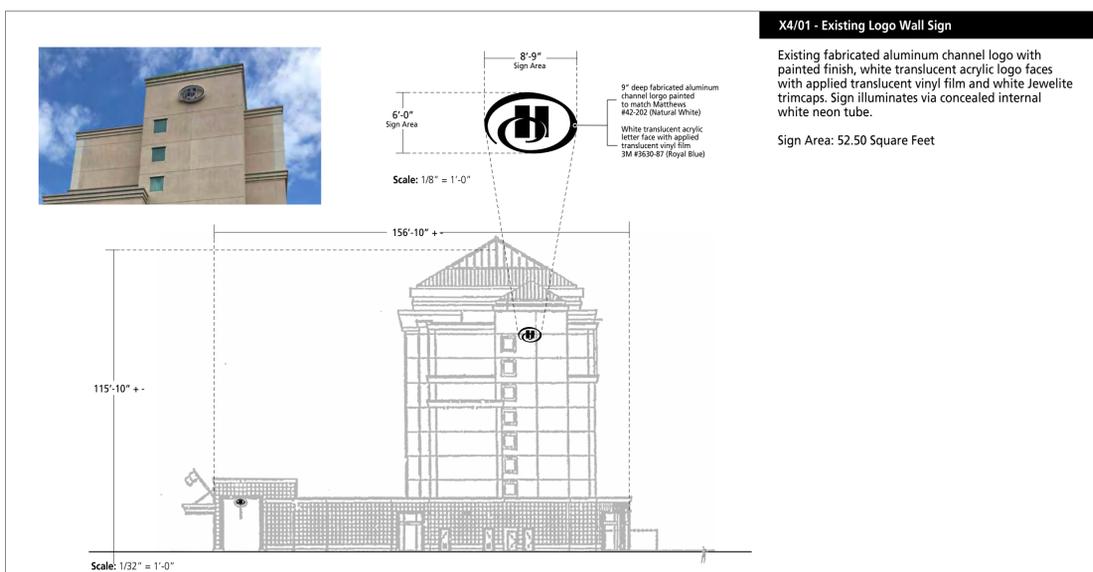
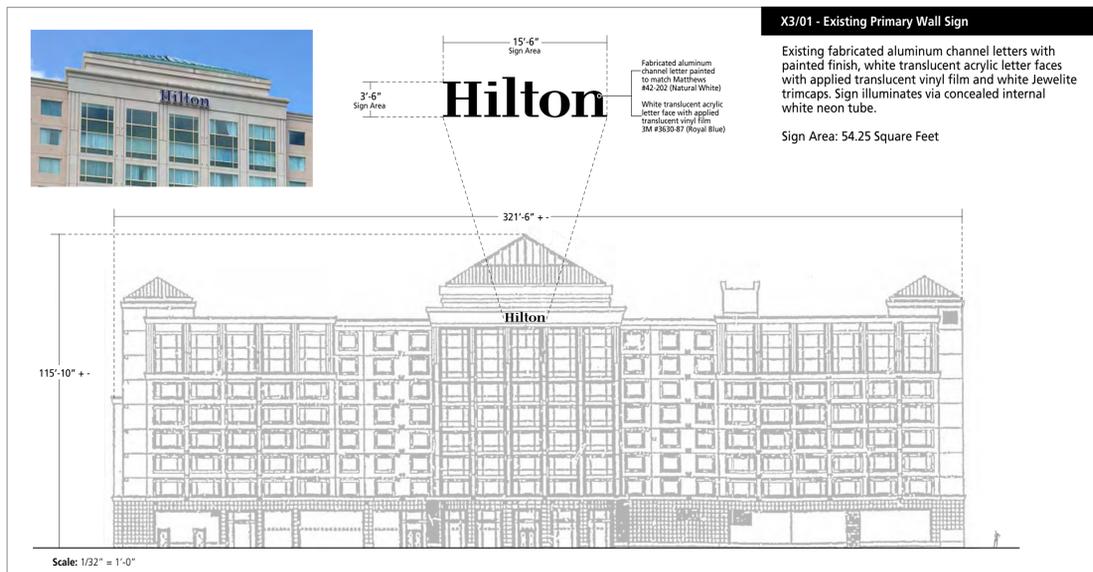
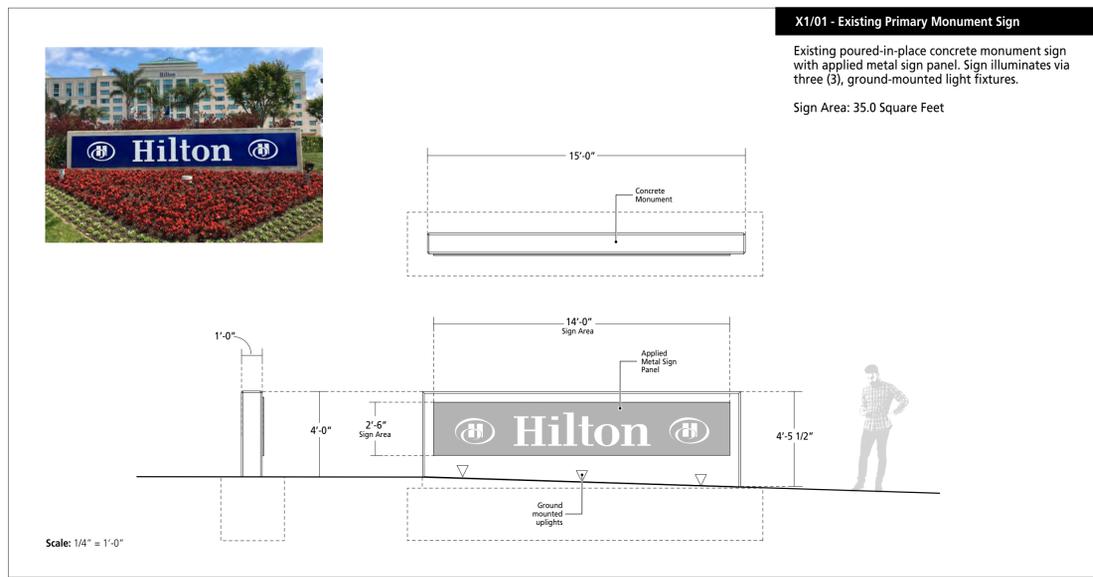
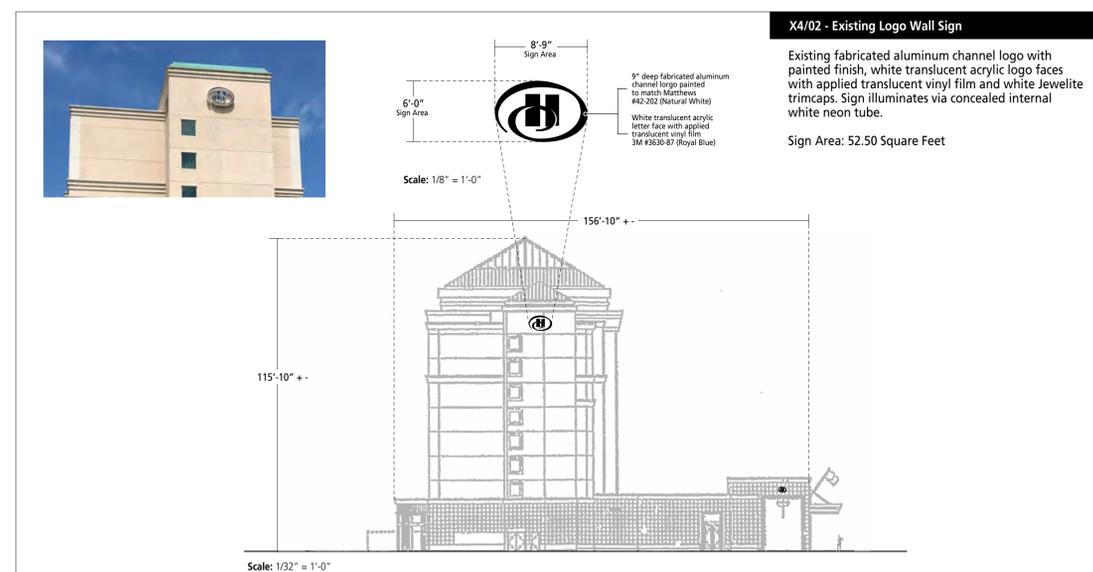
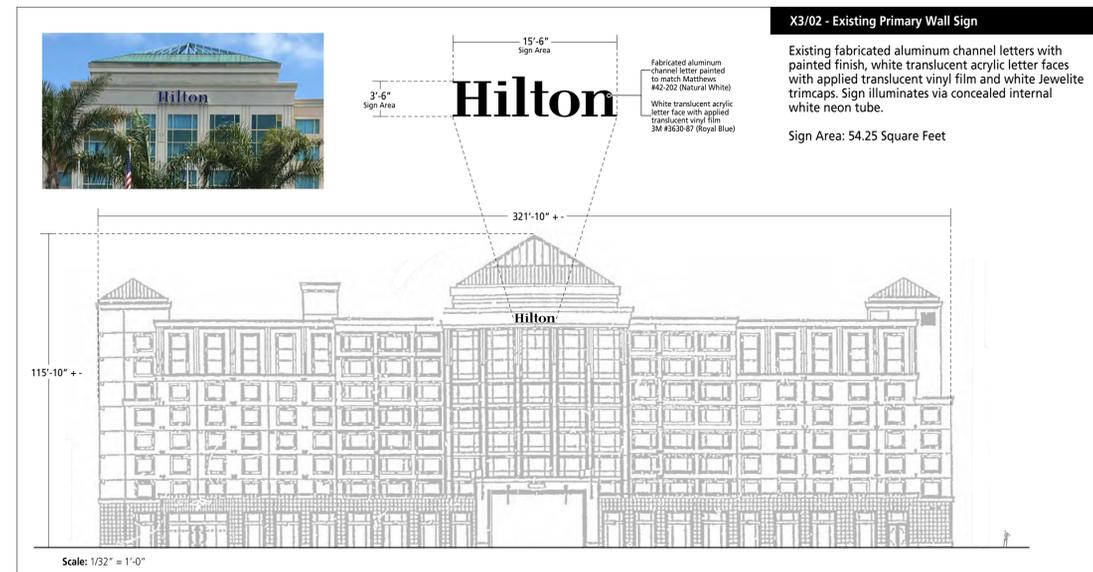
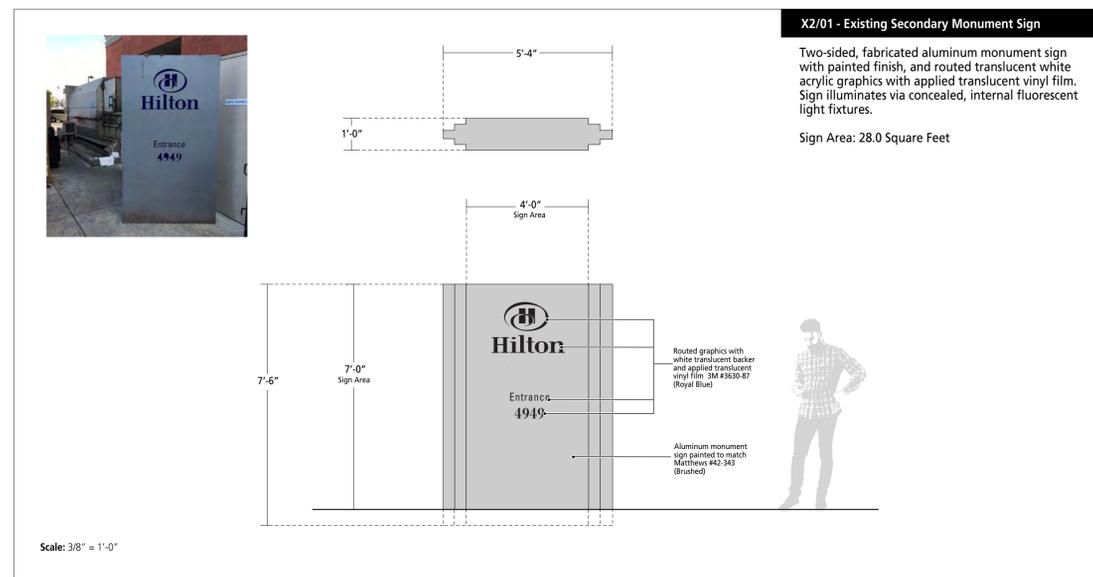
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SIGN LOCATION PLAN

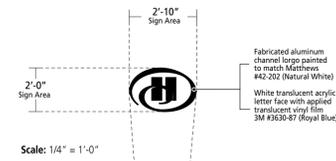
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ISSUED FOR: PLANNING SUBMITTAL 1
DATE: FEB. 25, 2020

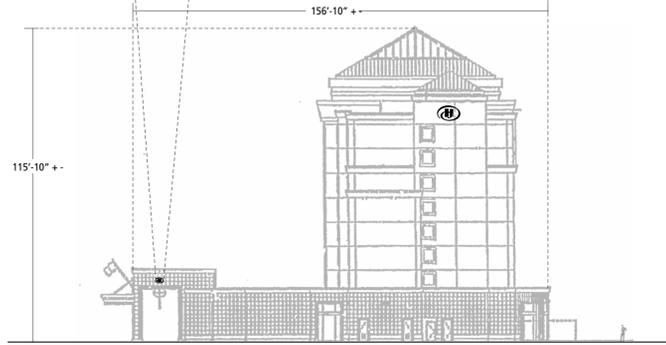
PROJECT NO. 17-3601







Scale: 1/4" = 1'-0"



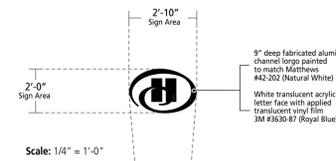
Scale: 1/32" = 1'-0"

X5/01 - Existing Logo Porte Cochere Sign

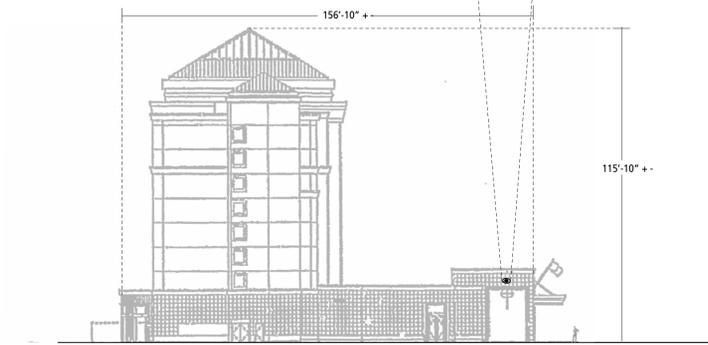
Existing fabricated aluminum channel logos with painted finish, white translucent acrylic logo faces with applied translucent vinyl film, white Jewelite trimcaps, and clear Lexan logo backs. Logos are pegged-off wall to allow halo illumination. Sign illuminates via concealed internal white neon tube.

Sign Area: 5.66 Square Feet

Fabricated aluminum channel logo painted to match Matthews #42-202 (Natural White)
White translucent acrylic letter face with applied translucent vinyl film 3M #9320-87 (Royal Blue)



Scale: 1/4" = 1'-0"



Scale: 1/32" = 1'-0"

X5/02 - Existing Logo Porte Cochere Sign

Existing fabricated aluminum channel logos with painted finish, white translucent acrylic logo faces with applied translucent vinyl film, white Jewelite trimcaps, and clear Lexan logo backs. Logos are pegged-off wall to allow halo illumination. Sign illuminates via concealed internal white neon tube.

Sign Area: 5.66 Square Feet

9" deep fabricated aluminum channel logo painted to match Matthews #42-202 (Natural White)
White translucent acrylic letter face with applied translucent vinyl film 3M #9320-87 (Royal Blue)

DEVELOPER
SC HOTEL DEVELOPMENT LLC

PROJECT
GENERAL PLAN AMENDMENT

SANTA CLARA HILTON
Santa Clara, California

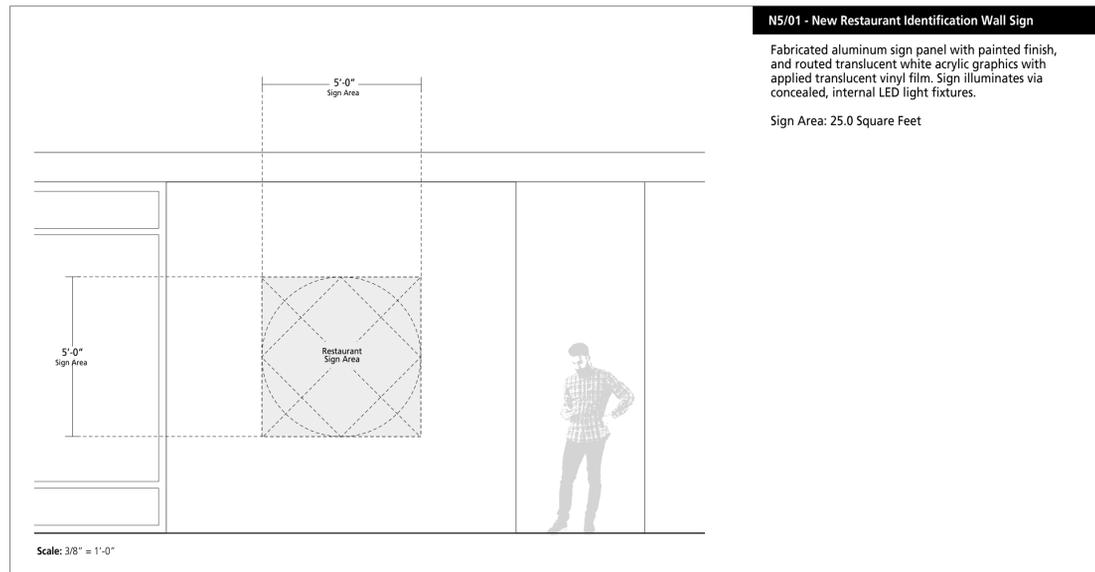
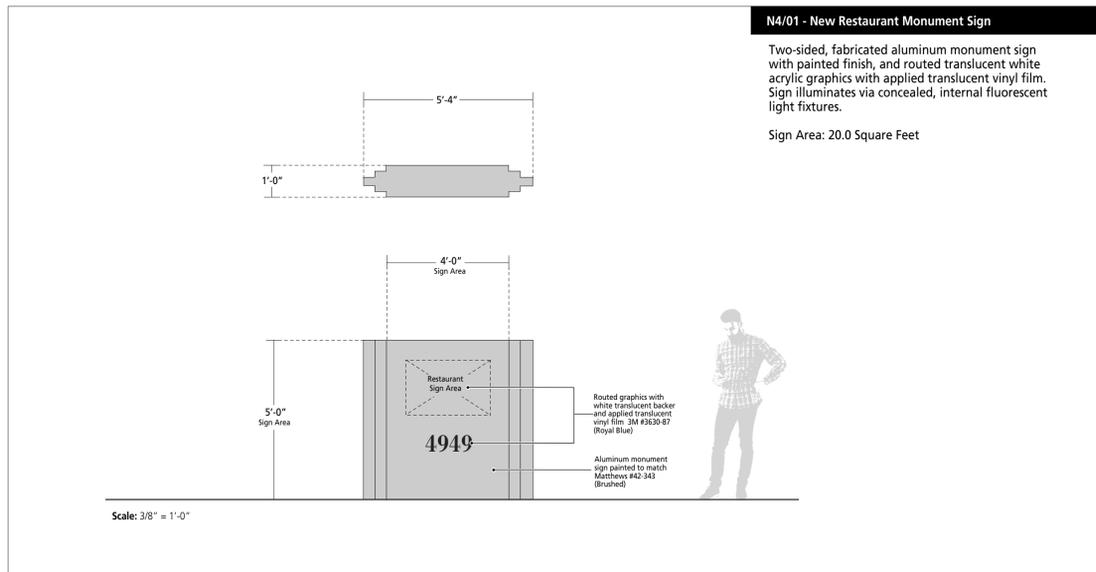
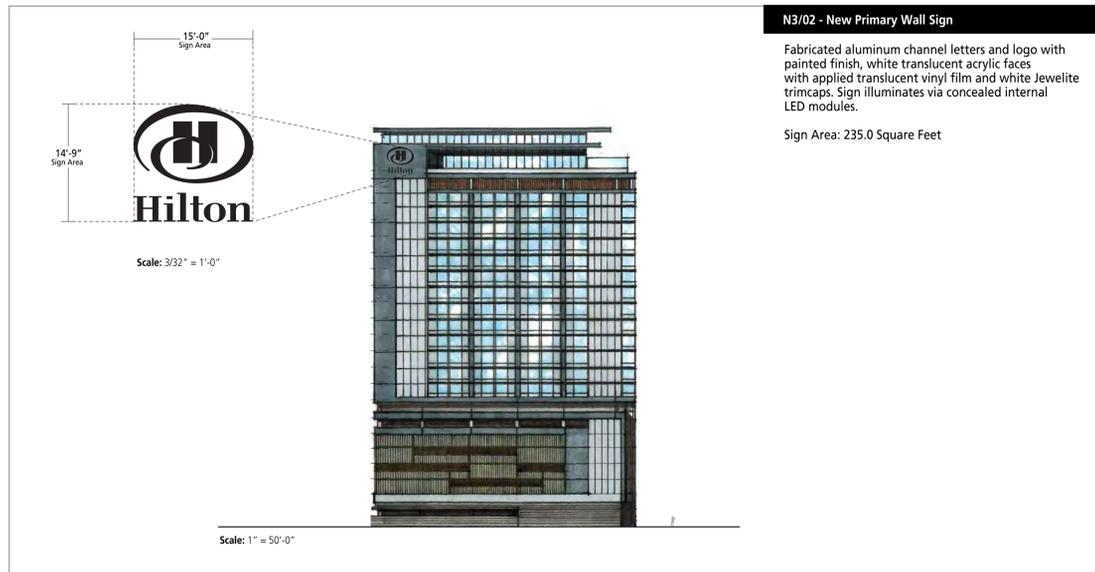
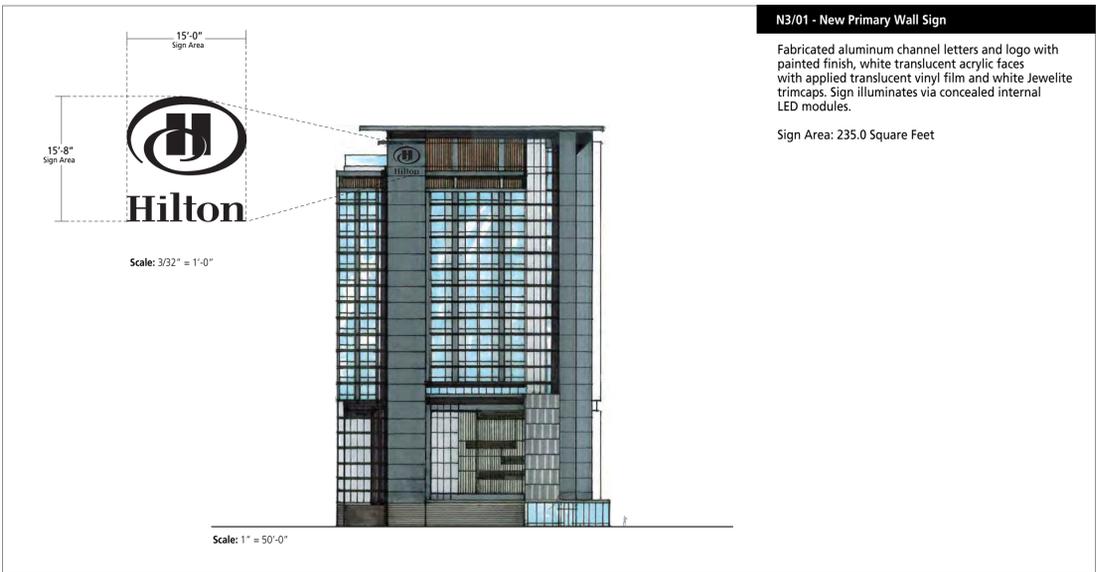
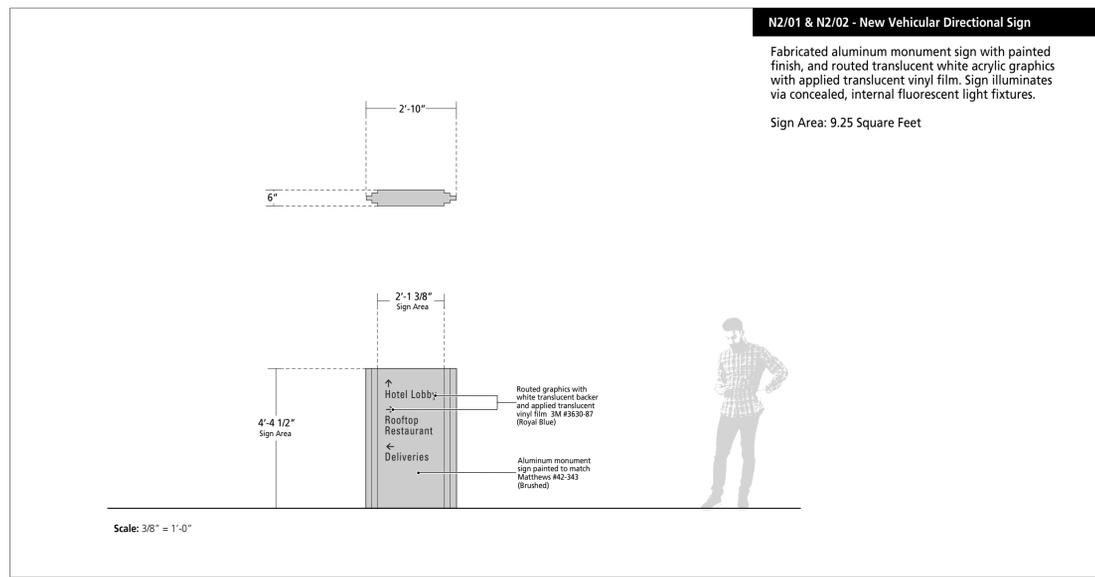
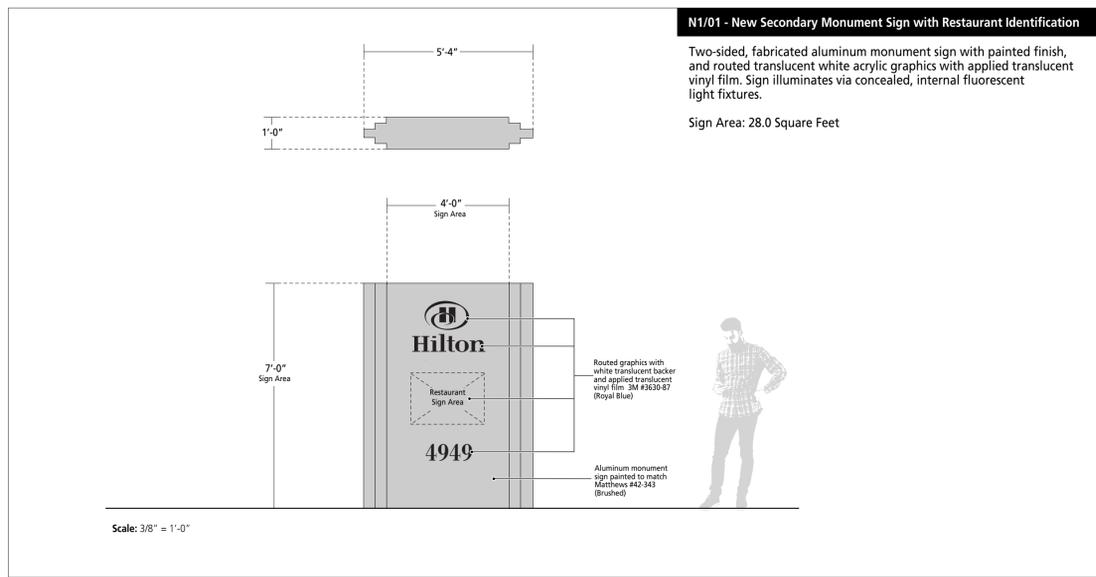
SHEET
EXISTING SIGNAGE
(continued)

SHEET NO.
SG.3

ISSUED FOR: PLANNING SUBMITTAL 1 DATE: FEB. 25, 2020

PROJECT NO. 17-3601





DEVELOPER
SC HOTEL
DEVELOPMENT LLC

PROJECT
GENERAL PLAN
AMENDMENT

**SANTA CLARA
HILTON**

Santa Clara,
California

SHEET
NEW / PROPOSED
SIGNAGE

SHEET NO.
SG.4

ISSUED FOR: PLANNING SUBMITTAL 1 DATE: FEB. 25, 2020

PROJECT NO. 17-3601

