



Meeting Date: October 21, 2020

File No.(s): PLN2020-14620

Location: 3788 Hancock Drive, a 6,432 square-foot lot located on the south side of Hancock Drive, APN: 316-14-018; property is zoned Single-Family Residential (R1-6L).

Applicant: Hau Ching Liao

Owner: Yang Sun

Request: **Architectural Review** of a 721 square-foot first floor and 1,371 square-foot second floor addition to an existing 1,311 square-foot four-bedroom, two-bathroom with a 460 square-foot attached two-car garage resulting in a 3,406 square-foot four-bedroom and one den, three and half-bathroom residence with a 40 square-foot porch and an existing 460 square-foot attached two-car garage.

Mailing Radius: 300 feet

CEQA Determination: Categorical Exemption per CEQA 15301(e)(1), Existing Facilities

Project Planner: Ela Kerachian, Associate Planner

Staff Recommendation: **Approve**, subject to Conditions

Project Data

Lot Size: 6,432 sf.			
	Existing Floor Area (sq. ft.)	Proposed New Building (sq. ft.)	Proposed Floor Area (sq.ft.)
First Floor	1,311	721	2,032
Second Floor	-	1,374	1,374
Porch cover	-		40
Garage	460		460
Gross Floor Area	1,771		3,906
Lot Coverage	1,771/6,432= %27		2,532/6,432= %39
F.A.R.	0.27		0.61
% of 2 nd floor to 1 st floor	n/a		%54
Bedrooms/Baths	4/2		4/2.5

Points for consideration

- The neighborhood is comprised of single- and two-story residential structures.
- 300-foot neighborhood notice was distributed for this project review.
- There are no active City code enforcement cases for this property
- The proposed addition is consistent in scale, design and size with the surrounding neighborhood.

Findings supporting the Staff Recommendation

- 1) *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*

- The proposal provides the required two covered parking spaces with an existing two-car garage.
 - The required parking spaces are not located in the required front yard or side yard landscaped areas.
 - The proposed project provides areas surfaced with all-weather materials for parking of vehicles.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*
- There is no expansion of the parking or intensification of use that would significantly cause increased traffic congestion or hazards.
 - Public streets are adequate in size and design to serve the proposed single-family residence, and the use will not create a substantive increase in traffic.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
- The development is a second-story addition to an existing single-family residence that is in keeping with the scale with the appearance of the existing neighborhood and tract. Two-story high walls are common in the neighborhood, and per the design guidelines the proposed second-floor walls maintain a roof segment for at least of 50% of the building perimeter.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*
- Privacy for neighbors is maintained as the design maintains the required setbacks and ratio of 2nd to 1st floor.
 - The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety and general welfare.
- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that;*
- The architectural features of the proposed second-story addition is true to the architectural form and appropriate for the neighborhood.

Conditions of Approval:

- 1) Submit plans for final architectural review to the Planning Division and obtain architectural approval prior to issuance of building permits. Said plans to include, but not be limited to: site plans, floor plans, elevations, landscaping, lighting and signage.
- 2) Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Planning and Inspection.
- 3) Developer/Owner is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.

- 4) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- 5) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits.
- 6) The window sill level of the second-floor side-facing windows located within 15 feet of a side property line shall be raised to a minimum of five feet above the finished floor.
- 7) At least one street or front yard tree to be planted at the front of the property.

LN & SUN RESIDENCE ADDITION

3788 HANCOCK DRIVE
SANTA CLARA, CALIFORNIA 95051

LHC

L.H.C. Construction

21000-A Big Basin Way
Saratoga, CA 95070
(408) 867-9331



OWNER:
Jie Lin & Yang Sun
3788 Hancock Drive
Santa Clara, CA 95051
(814) 769-1927

OWNER:
JIE LIN & YANG SUN
3788 HANCOCK DRIVE
SANTA CLARA, CA 95051
TEL: (814) 769-1927 & 360-3370

ARCHITECT:
LHC ARCHITECTURAL DESIGN
13937 LYNDE AVENUE
SARATOGA, CA 95070
TEL: (408) 483-1965

GreenPoint Rated Checklist:

- * DIVERT 65% (BY WEIGHT) OF ALL CONSTRUCTION AND DEMOLITION WASTE. (RECYCLING OR REUSE)
- * DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
- * INSTALL HIGH-EFFICIENCY IRRIGATION SYSTEM. SYSTEM HAS SMART (WEATHER-BASED) CONTROLLER.
- * HOMEOWNER MANUAL OF GREEN FEATURES/BENEFITS SHALL BE GIVEN TO THE OWNERS AFTER THE CONSTRUCTION IS FINISHED.
- * ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, & AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR. CGBSC 4.504.
- * PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OR THE OWNER/BUILDER (FOR ANY OWNER/BUILDER PROJECTS) MUST BE PROVIDED TO THE CITY OF SANTA CLARA BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION & ADHESIVE), RESILIENT FLOORING SYSTEMS, & COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBSC 4.504.

GENERAL NOTES

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK

THESE DRAWINGS AREA INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND, THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIAL AND / OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS. FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER, OR IN ABSENCE OF SAME, HE SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE

NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.

THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNER FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE DESIGNER.

THE CONTRACTOR SHALL REVIEW AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. HE SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIRED ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIMSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS WORK.

ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.

ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOODS AND MATERIALS ON SIDEWALK AND/OR STREET WALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.

FINISH GRADE AROUND STRUCTURAL SHALL SLOPE AWAY FROM FOUNDATION A MINIMUM 5% FOR A MINIMUM 10'.

SCOPE OF WORK

THIS PROJECT IS TO ADD TWO MORE BEDROOMS, A LIVING ROOM AND A DINING ROOM WITH A FRONT PORCH; CONVERT ONE OF THE EXISTING BEDROOMS TO A WALK-IN CLOSET AND A BATHROOM; AND ONE OF THE EXISTING BEDROOM TO A PANTRY AND PORTION OF THE DINING ROOM; UPGRADE THE ELECTRICAL PANEL TO 200 AMPS.

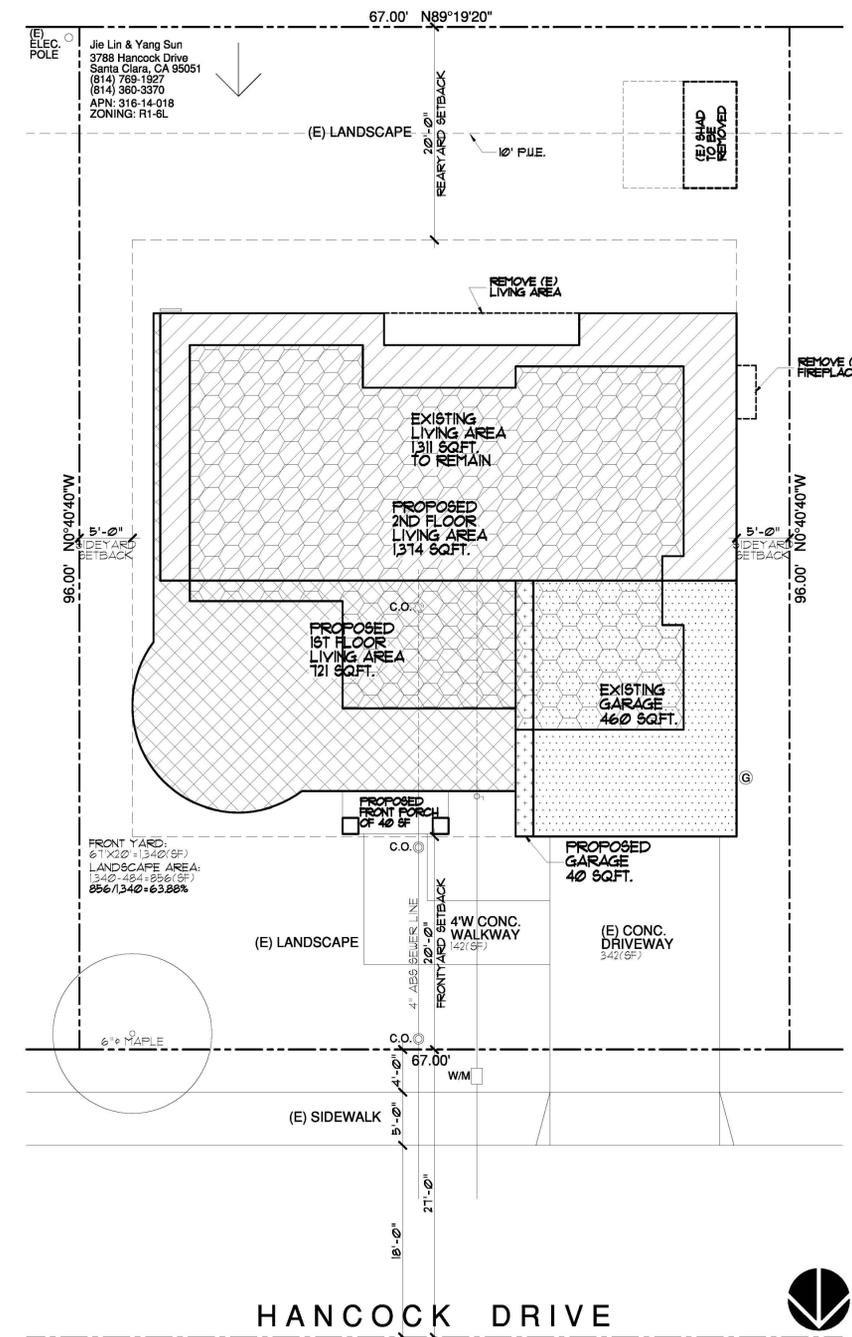
DRAWING INDEX

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 - A-1 ROOF PLAN / DEMOLITION PLAN
 - A-2.1 PROPOSED FLOOR PLAN / UTILITY PLAN
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 - A-3.2 PROPOSED BUILDING ELEVATIONS
 - A-4 BUILDING SECTIONS
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PROJECT DATA

ZONING DESIGNATION:	R1-6L
EXISTING USE:	SINGLE FAMILY RESIDENTIAL
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL
OCCUPANCY GROUP:	R3/U
TYPE OF CONSTRUCTION:	V-B
LOT SIZE:	6432 S.F. 0.1477 ACRE
(E) LIVING AREA TO REMAIN:	1311 S.F.
PROPOSED 1ST LIVING AREA:	721 S.F.
TOTAL 1ST LIVING AREA:	2032 S.F.
PROPOSED 2ND LIVING AREA:	1374 S.F.
TOTAL LIVING AREA:	3406 S.F.
EXISTING GARAGE TO REMAIN:	460 S.F.
PROPOSED GARAGE AREA:	40 S.F.
TOTAL GARAGE AREA:	500 S.F.
TOTAL BUILDING AREA:	3906 S.F.
FLOOR AREA RATIO (FAR):	60.73% (3906/6432)
PROPOSED FRONT PORCH:	40 S.F.
LOT COVERAGE:	39.99% (2572/6432)
BUILDING HEIGHT:	24'-11"
NUMBER OF STORIES:	1
PAVING AREA:	643 S.F. 10.00% OF TOTAL
LANDSCAPE AREA:	3217 S.F. 50.01% OF TOTAL
PROPOSED BLDG. SET BACK:	FRONT 20 FT. SIDE 5 FT. REAR 20 FT.
APPLICABLE CODES:	2019 CRC, CGB, CMC, CPC, CFC, CEC, & CITY OF SANTA CLARA ORDINANCES. 2019 CALIFORNIA ENERGY STANDARD
ASSESSOR PARCEL NUMBER:	316-14-018

VICINITY MAP



SITE PLAN

1/8" 1

SYMBOL

- SECTION SHEET NUMBER
- DETAIL SHEET NUMBER
- COLUMN GRID
- EXISTING DOOR
- DOOR NUMBER DOOR SCHEDULE DOOR TYPE
- INTERIOR ELEVATIONS INDICATOR
- ROOM NUMBER FLOOR FINISH BASE FINISH WALL FINISH CEILING FINISH

LIN & SUN
RESIDENCE ADDITION

3788 HANCOCK DRIVE
SANTA CLARA, CALIFORNIA 95051

REVISIONS:

SHEET TITLE:
**SITE PLAN
TITLE SHEET**

DATE: 9 Sep 10, 2010 PROJECT NO.: 19-42

SCALE: AS SHOWN DRAWN: HC

SHEET

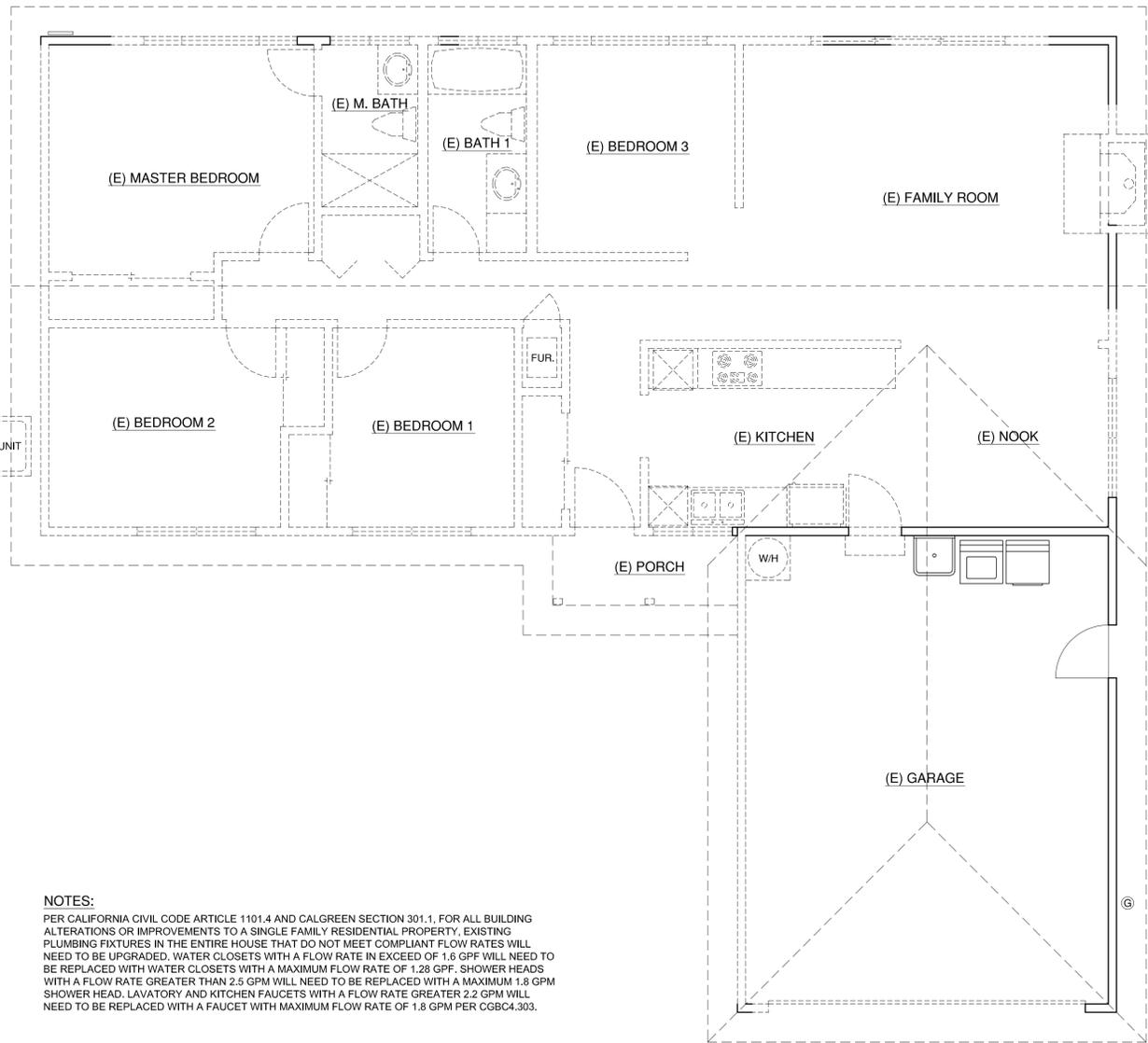
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OF 9 SHEETS



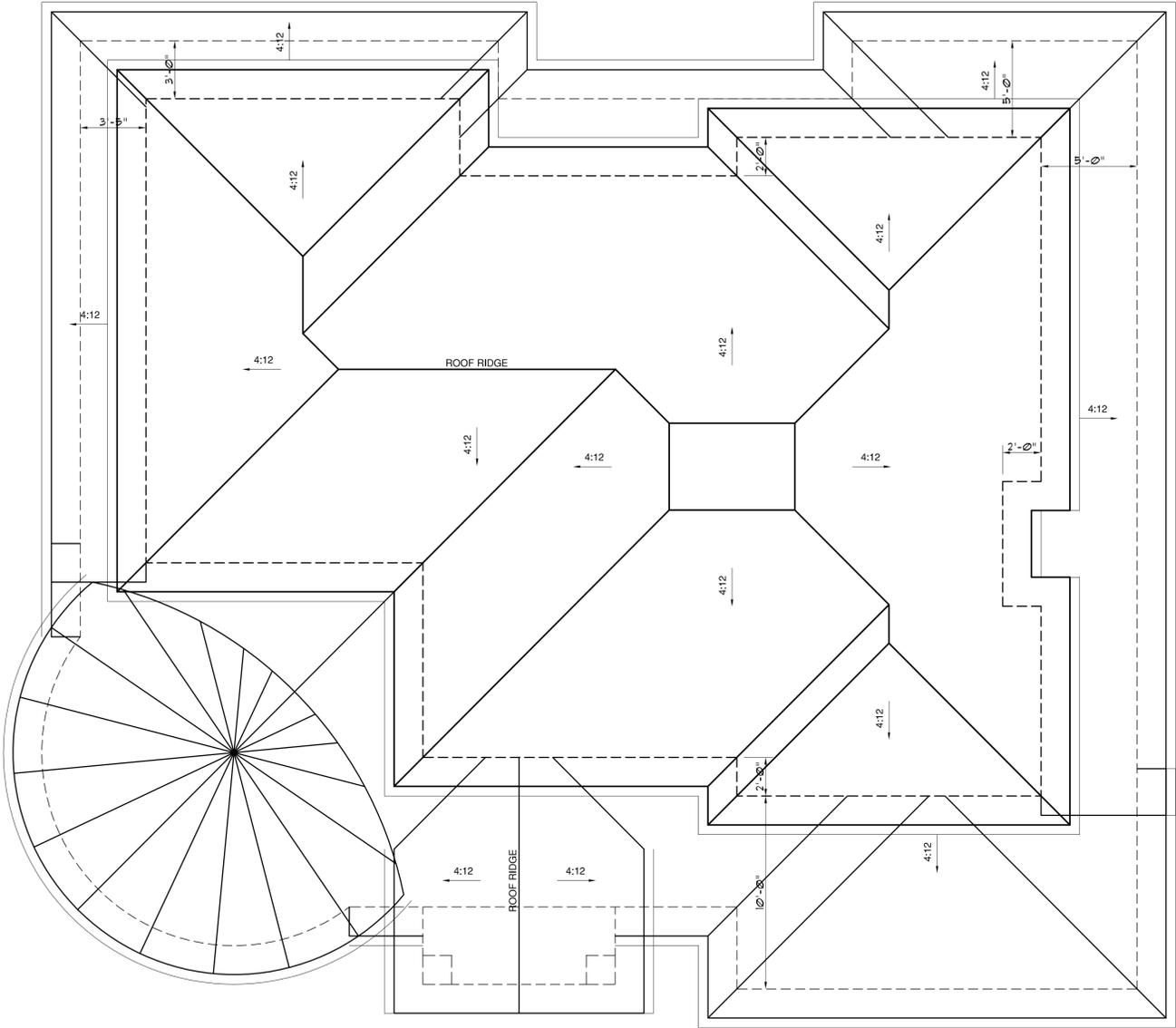
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NOTES:
PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CALGREEN SECTION 301.1, FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET COMPLIANT FLOW RATES WILL NEED TO BE UPGRADED. WATER CLOSETS WITH A FLOW RATE IN EXCEED OF 1.6 GPF WILL NEED TO BE REPLACED WITH WATER CLOSETS WITH A MAXIMUM FLOW RATE OF 1.25 GPF. SHOWER HEADS WITH A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED WITH A MAXIMUM 1.8 GPM SHOWER HEAD. LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER 2.2 GPM WILL NEED TO BE REPLACED WITH A FAUCET WITH MAXIMUM FLOW RATE OF 1.8 GPM PER CGBC4.303.

LEGEND :
 _____ EXISTING WALLS TO REMAIN
 - - - - - EXISTING WALLS TO BE REMOVED



- NOTE**
1. PROVIDE POSITIVE DRAINAGE TO ROOF DRAINS FROM ALL PARTS OF THE ROOF.
 2. D.S. ○ — : INDICATES 2" X 3" 28 GA. G.I. DOWNSPOUTS LOCATED AS SHOWN.
 3. PROVIDE 5" - 28 GA. G.I. OGEE GUTTER OVER 2 X 8 SPRUCE FASCIA BOARD - TYP.
 4. ROOF PITCH TO MATCH EXISTING ROOF (4 : 12) TYP. - U.N.O.
 5. ROOF MATERIAL TO MATCH EXISTING ROOF OF 40 YEARS COMPOSITION SHINGLE MIN. CLASS "C" OVER 30 # FELT - TYP.
 6. PROVIDE NECESSARY FLASHING AT ALL ROOF AND WALL CONNECTIONS AS REQUIRED.
 7. PROVIDE 3/4" THICK T&G PLANKS @ ROOF OVERHANG AREA.
 8. CROSS VENTILATE CALIFORNIA FRAMING.



REVISIONS:

SHEET TITLE:
**EXISTING ROOF PLAN
DEMOLITION PLAN**

DATE: 9sep. 10, 2020 PROJECT NO.: 19-42

SCALE: AS SHOWN DRAWN: HC

SHEET

LEGEND :

- EXISTING WALL TO REMAIN AND REPAIR AS REQUIRED.
- 2X OR 3X WOOD STUDS W/ 1/2" THK. GYP. BD. ON BOTH SIDES (CDX OR OSB PLYW'D O/ STUD @ SHEAR WALLS)
- 2X OR 3X WOOD STUDS W/ 1/2" THK. GYP. BD. INTERIOR SIDE 7/8" CEMENT PLASTER O/ (2) "D" PAPER BACKED LATH OR WOOD SIDING OVER 15# BLDG. PAPER (PAINTED) OVER CDX OR OSB PLYWOOD (SEE ELEVATIONS FOR EXTERIOR FINISH)
- 2X OR 3X WOOD STUDS W/ 1/2" THK. GYP. BD. ON LIVING AREA SIDE OF WALLS & 5/8" TYPE "X" GYP. BD. ON GARAGE SIDE OF WALLS (CDX OR OSB PLYW'D O/ STUD @ SHEAR WALLS)
- WINDOWS

All escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet on 2nd floor & 5.0 square feet on 1st floor. The minimum net clear openable height dimension shall be 24". The minimum net clear openable width dimension shall be 20". When windows are provided as a means of escape or rescue they shall have the bottom of the opening no higher than 44 inches above the floor per CBC 1026.3.

GENERAL PLAN NOTES

1. ALL INTERIOR DOORS TO BE HOLLOW CORE 1-3/8" THK. U.N.O. (SEE PLAN FOR SIZE)
2. ALL HOUSE TO GARAGE DOORS TO BE SOLID CORE 1-3/8" THK W/ SELF-CLOSING AND TIGHT FITTING. (SEE PLAN FOR SIZE)
3. ALL ENTRY DOORS TO BE SOLID CORE 1-3/4" THICK. (SEE PLAN FOR SIZE)
4. PROVIDE A LANDINGS WITH A MIN. DEPTH & WIDTH OF 36" AT ALL EXIT DOORS WHERE THE FINISH GRADE IS 0'-1'-3/4" BELOW THE FINISH PER 2016 C.B.C.
5. PROVIDE SOUND BATT INSULATION @ ALL INTERIOR WALL W/ R-13 MIN.

FLOOR PLAN NOTES

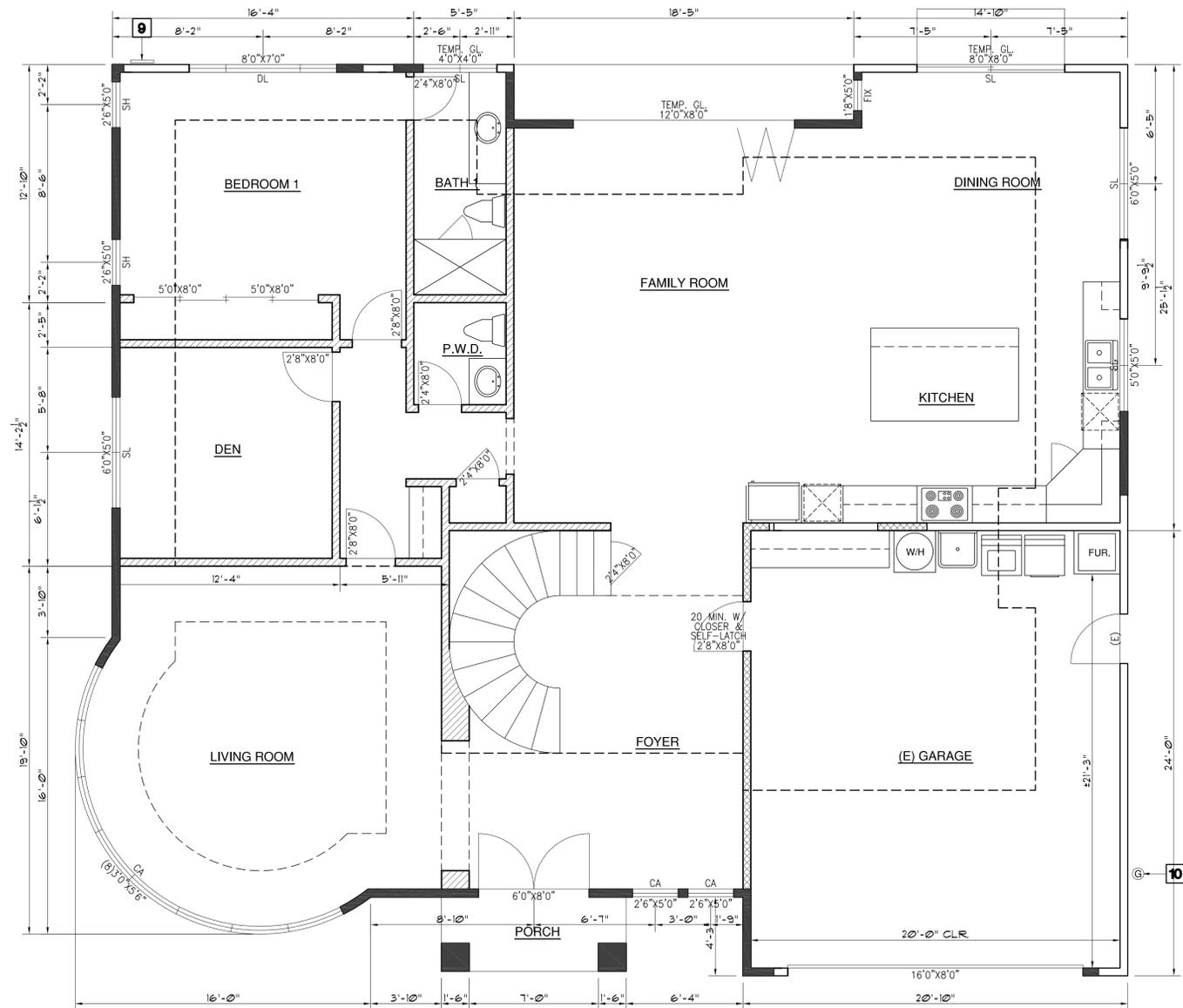
- 1 FIRE SEPARATION BETWEEN HOUSE & GARAGE TO BE 1/2" GYP. BD. ON GARAGE SIDE W/ R-5 COOLER NAIL AT 7" O.C. CONTINUOUS FROM GARAGE SLAB TO ROOF SHEATHING.
- 2 PROVIDE 3'X3' MIN. CONC. LANDING AT ALL NEW EXTERIOR DOOR OF 7.75" HI. STEP MAX.
- 3 22"X30" ATTIC ACCESS PANEL PER C.B.C. 1209.2.
- 4 18"X24" UNDERFLOOR ACCESS PANEL PER C.B.C. 1209.1.
- 5 36"X72" SHOWER W/ HOT MOP SEALED. TILE TO 72". U.N.O. PROVIDE SOAP DISH.
- 6 TEMPERED GLASS SHOWER ENCLOSURE W/ TOWER BAR.
- 7 PANTRY W/ 5 LEVELS OF SHELVING PER OWNER.
- 8 TOILET ACCESS AREA SHALL BE 24"(D)X30"(W) IN FRONT W/ 15" MIN. FROM CENTER OF TOILET TO BOTH SIDES.
- 9 (E) GAS METER
- 10 (N) 200 AMPS ELECTRICAL METER & PANEL.
- 11 PROVIDE "DUROCK" OR "WONDER BOARD" WALL LINING AROUND SHOWER/BATHTUB AREA. CULTURE MARBLE OR TILE FINISH.
- 12 ALL PLUMBING FIXTURES SHALL BE OF CPC APPROVED PRODUCTS. THE FIXTURE IN SHOWER SHALL HAVE PRESSURE OR THERMOSTATIC MIXING VALVE THAT LIMIT WATER TEMPERATURE TO 120F.
- 13 F.A.U. @ ATTIC W/ FUEL GAS & SERVICE AREA. F.A.U. SIZING SEE T-24 ENERGY REPORT.
- 14 F.A.U. 'B' VENT TO OUTSIDE AIR.
- 15 AC UNIT, SIZE PER T-24.
- 16 LIEN CLOSET, STYLE PER OWNER.
- 17 TANK WATER HEATER ON TOP OF 18" HIGH PLATFORM. SIZE PER T-24 W/ SEISMIC STRAPPING.
- 18 (E) 100 AMPS ELECTRICAL PANEL TO REMAIN.
- 19 36"X60" BATHTUB. TILE TO 72". U.N.O., PROVIDE SOAP DISH.
- 20 CLOTH WASHER, PROVIDE COLD & HOT WATER.
- 21 CLOTH DRYER, DRYER PER CMC 504.3.
- 22 32" X 21" DOUBLE SINK W/ GARBAGE DISPOSAL.
- 23 DISHWASHER, PROVIDE SURFACE MOUNT AIR GAP IF REQUIRED.
- 24 48" CLEAR REFRIGERATOR SPACE. PLUMB FOR WATER SUPPLY.
- 25 36" BUILT-IN RANGE & OVEN COMBINATION W/ BUILT-IN HOOD, LIGHT & FAN. (VENT TO OUTSIDE AIR)
- 26 RECYCLE BIN, SIZE PER OWNER.
- 27 GARBAGE BIN, SIZE PER OWNER.
- 28 MICROWAVE & OVEN, STYLE PER OWNER.
- 29 ISLAND CABINET & COUNTER TOP W/ 2 GFCI OUTLETS.
- 30 SERVICE SINK OR MOP SINK PER OWNER.
- 31 UNDER COUNTER REFRIGERATOR, STYLE PER OWNER.
- 32 2X4 OPERABLE SKYLIGHT, ICC ESR-3177.

GreenPoint Rated Checklist:

- * HIGH EFFICIENCY SHOWERHEADS ≤ 1.8 GPM AT 80 PSI. (MULTIPLE SHOWERHEADS SHALL NOT EXCEED MAX. FLOW RATES)
- * HIGH EFFICIENCY BATHROOM FAUCETS ≤ 1.2 GPM AT 60 PSI.
- * HIGH EFFICIENCY KITCHEN AND UTILITY FAUCETS ≤ 1.8 GPM.
- * INSTALL ONLY HIGH EFFICIENCY TOILETS. (DUAL-FLUSH OR ≤ 1.28 GPF) PER CPC 402.2.2.
- * DESIGN AND INSTALL HVAC SYSTEM TO ACCA MANUAL J, D, AND S RECOMMENDATIONS.
- * DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED PER SEC. 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.
- * INSTALL ENERGY STAR BATHROOM FANS ON TIMER AND HUMIDISTAT.
- * INSTALL WHOLE HOUSE FAN W/ INSULATED LOUVERS/COVERS (MIN. R-4.2) WHICH CLOSE WHEN THE FAN IS OFF.
- * COMPLIANCE WITH ASHRAE 62.2 MECHANICAL VENTILATION STANDARDS. (AS ADOPTED IN T-24 PART 6)
- * ALL PLUMBING FIXTURES & FITTINGS SHALL MEET THE STANDARDS REFERENCED IN TABLE 1401.1 OF 2016 CPC PER CGBCS 4.303.3.2.

GreenPoint Rated Checklist:

- * LOW-VOC INTERIOR WALL/CEILING PAINTS. (<50 GPL VOCs REGARDLESS OF SHEEN)
- * USE LOW-VOC COATINGS THAT MEET SCAQMD RULE 1113.
- * USE LOW-VOC CAULKS, CONSTRUCTION ADHESIVES AND SEALANTS THAT MEET SCAQMD RULE 1168.
- * REDUCE FORMALDEHYDE IN INTERIOR FINISH - MEET CURRENT CARB AIRBORNE TOXIC CONTROL MEASURE (ATCM) FOR COMPOSITE WOOD FORMALDEHYDE LIMITS BY MANDATORY COMPLIANCE DATES.
- * ALL CARPET AND 80% OF RESILIENT FLOORING IS LOW EMITTING.
- * PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUIITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS.
- * PROTECT DOCUMENTATION OF VOC LIMITS AND FINISH MATERIALS.
- * CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE.
- * HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.
- * CARPET & CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS. (4.504.3)



LHC

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REVISIONS:

SHEET TITLE:
PROPOSED FLOOR PLAN & UTILITY PLAN

DATE: 9 Sep. 10, 2010 PROJECT NO.: 19-42

SCALE: AS SHOWN DRAWN: HC

SHEET

A-2.1

OF 9 SHEETS



UTILITY LEGEND:

	CEILING LED TRACK LIGHT		TELEPHONE JACK
	CEILING LED PENDANT LIGHT		DATA JACK
	WALL MOUNTED LED LIGHT		TV JACK
	CEILING RECESSED LED LIGHT		LIGHT SWITCH
	CEILING RECESSED W/P LED LIGHT		3 WAY LIGHT SWITCH
	TUBE SKYLITE (SIZE PER OWNER)		DIMMER
	JUNCTION BOX FOR SUSPENDED LIGHT		EXHAUST FAN W/ HUMISTAT CONTROL
	FLOURESCENT LIGHT		SUPPLY AIR DIFFUSER
	WALL SCONE LED LIGHT		RETURN AIR DIFFUSER
	DUPLEX 110VAC OUTLET		110V HOT WIRE SMOKE DETECTOR
	DUPLEX 220VAC OUTLET		MOTION SENSOR LIGHT
	THERMOSTAT		SPEAKER
	MOTION SENSOR "ON" & PHOTO SENSOR "OFF"		TRACK LIGHT
	HOSE BIB		110V HOT WIRE CARBON MONOXIDE DETECTOR
	WALL SCONE W/P LED LIGHT		DOOR BELL
	VACANCY SENSOR		

- NOTE:**
- * PROVIDE 12" MINIMUM CLEARANCE IN FRONT OF 2" OR LESS UNDER-FLOOR CLEANOUT PIPING AND 18" IF MORE THAN 2" DIAMETER PIPE.
 - * NO UNDER-FLOOR CLEANOUT SHALL BE LOCATED MORE THAN 20 FEET FROM CRAWL HOLE ACCESS PANEL. (CPC 707.10)
 - * OUTDOOR A/C SUCTION LINE INSULATION EXPOSED TO WEATHER SHALL BE PROTECTED FROM U/V DEGRADATION OR PHYSICAL DAMAGE. (CEES 150(j)2, 150(m)9).
 - * THE "F.A.U." WHICH LOCATED IN THE ATTIC NEED TO BE WITHIN 20' FROM THE ACCESS AND HAS A CONTINUOUS SOLID WALKWAY AT 24" WIDE. PROVIDE A SWITCH-CONTROLLED LIGHT PER CMC 908.0
 - * ENVIRONMENTAL AIR DUCTS SUCH AS VENTILATION FOR HUMAN USAGE, KITCHEN RANGE EXHAUST, BATHROOM EXHAUST, AND CLOTHES DRYER EXHAUST SHALL BE EQUIPPED WITH BACK-DRAFT DAMPER PER CMC 504.1.
 - * TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3' FROM ANY OPENINGS INTO THE BUILDING (i.e., BATH FAN, ETC., MUST BE 3' AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS) CMC 504.5.
 - * SINGLE-WALL METAL PIPE SHALL NOT BE USED AS A VENT IN DWELLINGS & RESIDENTIAL OCCUPANCIES PER CMC 802.7.4.1.
 - * EACH BATHROOM CONTAINING A BATHTUB, SHOWER OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED (EXHAUST FAN) FOR PURPOSES OF HUMIDITY CONTROL IN ACCORDANCE W/ CMC CHAPTER 4, & CGC CHAPTER 4, DIVISION 4.5. (R303.3.1)
 - * RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS SHALL BE LISTED FOR ZERO CLEARANCE. SHALL BE CERTIFIED AS AIRTIGHT (INCLUDING EXHAUST FAN HOUSINGS) SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING. SHALL NOT CONTAIN SCREW BASE SOCKETS, & ALL LIGHT SOURCES SHALL BE MARKED WITH JAB-2016-10 AS SPECIFIED IN REFERENCE JOINT APPENDIX JAB.
 - * ALL FORWARD PHASE CUT DIMMERS USED WITH LED LIGHT SOURCES SHALL COMPLY WITH NEMA SSL 7A.
 - * EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM.
 - * LUMINAIRES SHALL BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON & OFF.
 - * IN BATHROOMS, GARAGES, LAUNDRY ROOMS, & UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.
 - * DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES (EXCEPTIONS: LUMINAIRES IN CLOSETS LESS THAN 70 SF & IN HALLWAYS).
 - * UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.
 - * RESIDENTIAL OUTDOOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON & OFF SWITCH WITH PHOTOCELL & MOTION SENSOR.
 - * ALL RECEPTACLES IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, OUTDOORS, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS (WHERE RECEPTACLE RECEPTACLE SERVE COUNTER TOP SURFACES), LAUNDRY AREA, SINKS (WITHIN 6" OF THE EDGE OF THE SINKS, BATHTUBS, OR SHOWERS), SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) PROTECTION. (CEC 201.8)
 - * A MIN. OF TWO 20A SMALL APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN, DINING ROOM, PANTRY, OR OTHER SIMILAR AREA. (CEC 210.11(C)(1))
 - * AT LEAST ONE 20A BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. (CEC 210.11(C)(2))
 - * A DEDICATED 20-AMP CIRCUIT SHALL BE PROVIDED TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTABLES/LIGHT/FAN PER CEC 210.11(C)(3).
 - * ALL 120V, SINGLE-PHASE 15A & 20A BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHENS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS OR SIMILAR ROOMS OR AREA SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER PER CEC 210.12.
 - * ALL WALL SPACES, 2' OR MORE IN WIDTH, SHALL HAVE RECEPTABLES INSTALLED SUCH THAT NO POINT MEASURED HORIZONTALLY IS MORE THAN 6" FROM A RECEPTACLE (12" MAXIMUM SPACING) (CEC 210.52(A)(1)&(2))
 - * COUNTERTOPS IN KITCHEN, PANTRIES, BREAKFAST ROOMS, DINING ROOMS & SIMILAR AREAS, SPACES 12" OR WIDER SHALL HAVE RECEPTABLES INSTALLED SUCH THAT NO POINT ALONG THE WALL IS MORE THAN 2' FROM RECEPTACLE. (CEC 210.52(C)(1))
 - * 125V & 250V RECEPTABLES INSTALLED OUTDOORS IN WET LOCATION SHALL HAVE A LISTED ENCLOSURE THAT IS "EXTRA DUTY" & WEATHERPROOF WHETHER OR NOT THAT ATTACHMENT PLUG CAP IS INSERTED (CEC 406.8 (B)(1))

THE COMPLETED CF-6R-LTG-01 FORM MUST BE PROVIDED TO THE TOWN BUILDING INSPECTOR PRIOR TO FINAL INSPECTION PER CA ENERGY CODE SEC 150(K).

* ADD ELECTRICAL FLOOR HEATING @ ALL BATHROOMS.

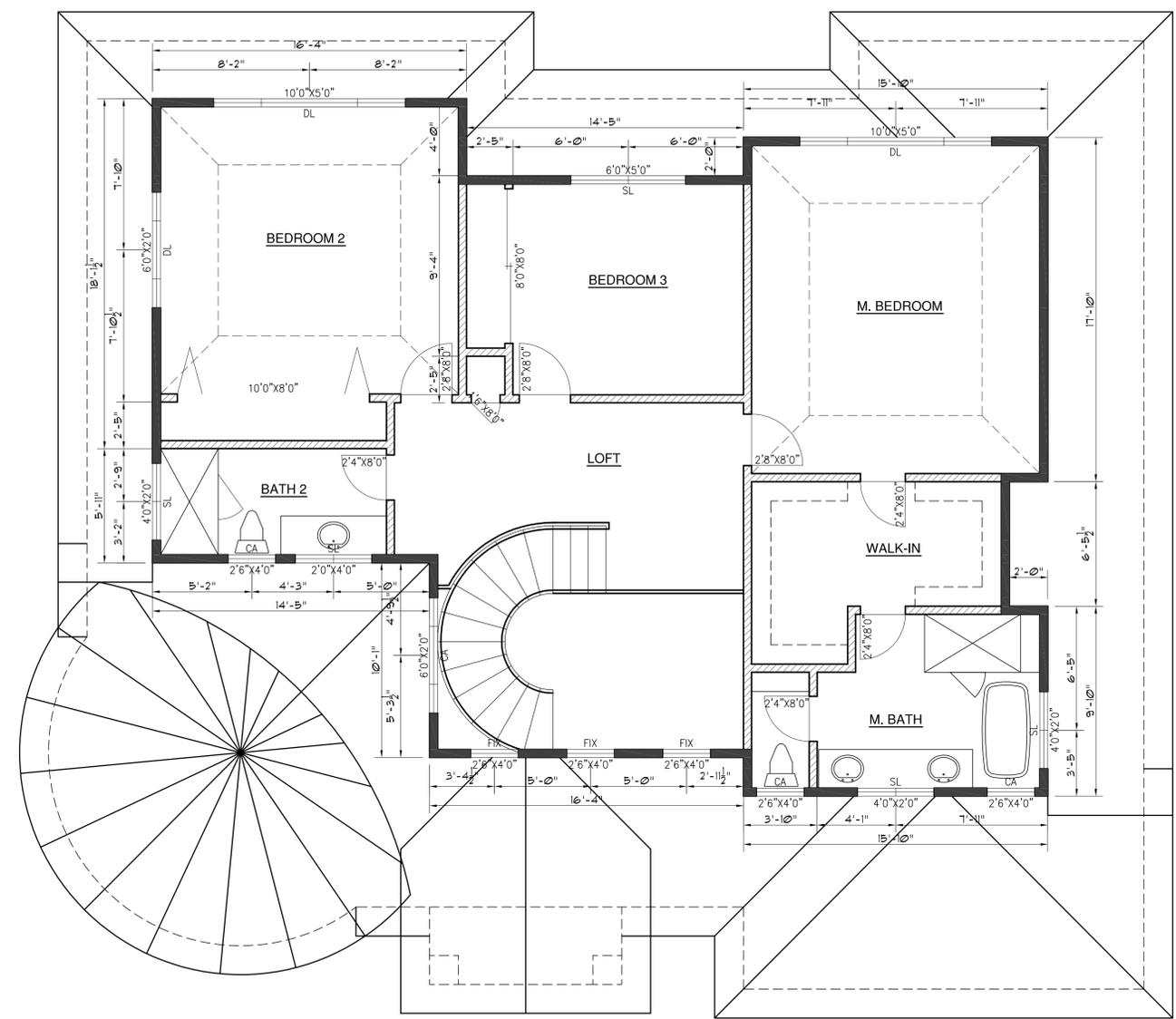


TABLE 150.0-A CLASSIFICATION OF HIGH EFFICACY LIGHT SOURCES

High Efficacy Light Sources	
Luminaires installed with only the lighting technologies in this table shall be classified as high efficacy	
Light sources in this column other than those installed in ceiling recessed downlight luminaires are classified as high efficacy and are not required to comply with Reference Joint Appendix JAB	Light sources in this column shall be certified to the Commission as High Efficacy Light Sources in accordance with Reference Joint Appendix JAB and be marked as meeting JAB.
1. Pin-based linear or compact fluorescent light sources using electronic ballasts.	8. All light sources in ceiling recessed downlight luminaires. Note that ceiling recessed downlight luminaires shall not have screw bases regardless of lamp type as described in Section 150.0(k)1C
2. Pulse-start metal halide.	9. GU-24 sockets containing LED light sources.
3. High pressure sodium.	10. Any light source not otherwise listed in this table and certified to the Commission as complying with Joint Appendix 8.
4. GU-24 sockets containing light sources other than LEDs. a.b	
5. Luminaires with hardwired high frequency generator and induction lamp.	
6. Inseparable SSL luminaires that are installed outdoors.	
7. Inseparable SSL luminaires containing colored light sources that are installed to provide decorative lighting.	

Notes:
a. GU-24 sockets containing light sources such as compact fluorescent lamps and induction lamps.
b. California Title 20 Section 1605(k)3 does not allow incandescent sources to have a GU-24 base.



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3788 HANCOCK DRIVE
SANTA CLARA, CALIFORNIA 95051

REVISIONS:

SHEET TITLE:
PROPOSED FLOOR PLAN & UTILITY PLAN

DATE: 9 Sep. 10, 2020 PROJECT NO.: 19-42
SCALE: AS SHOWN DRAWN: HC
SHEET:

A-2.2



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RESIDENCE ADDITION
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REVISIONS:

SHEET TITLE:
(E) BUILDING ELEVATIONS

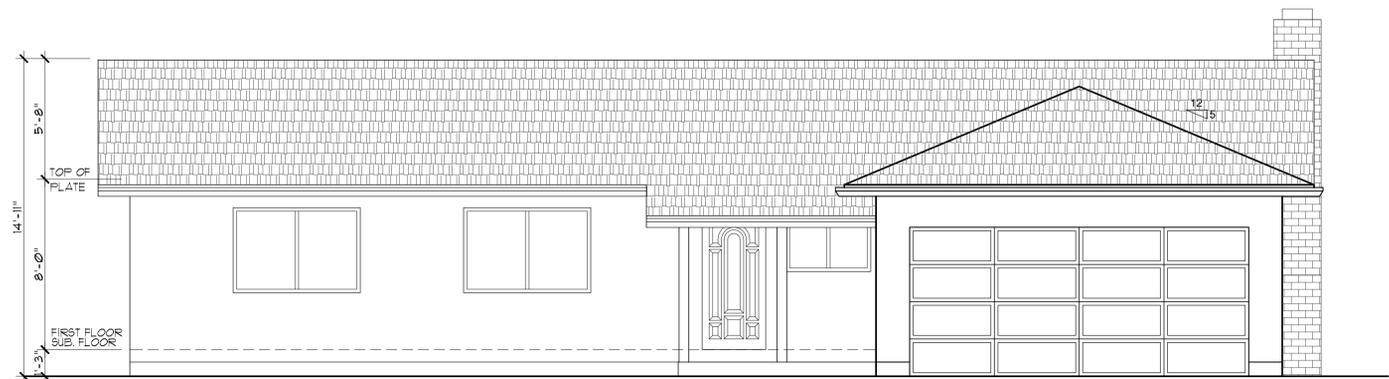
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SCALE: AS SHOWN DRAWN: HC

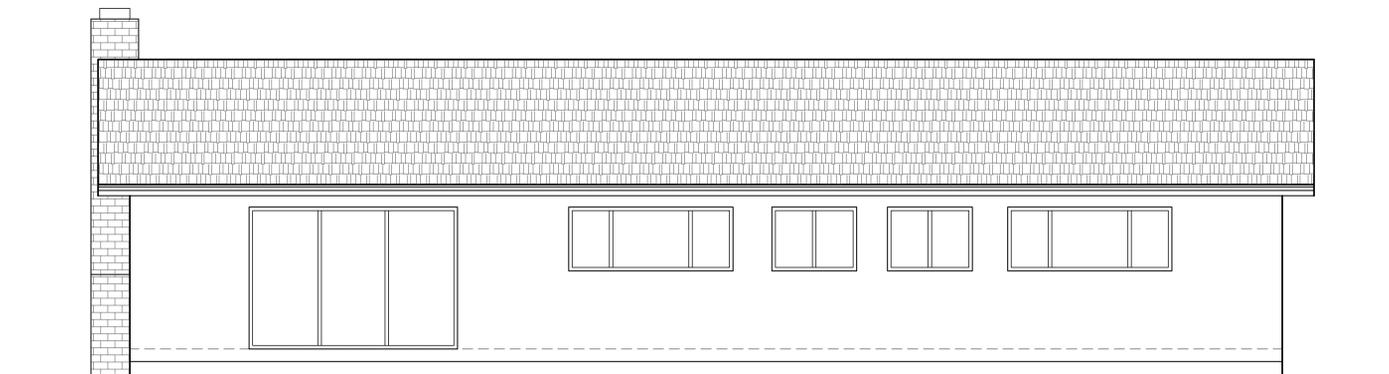
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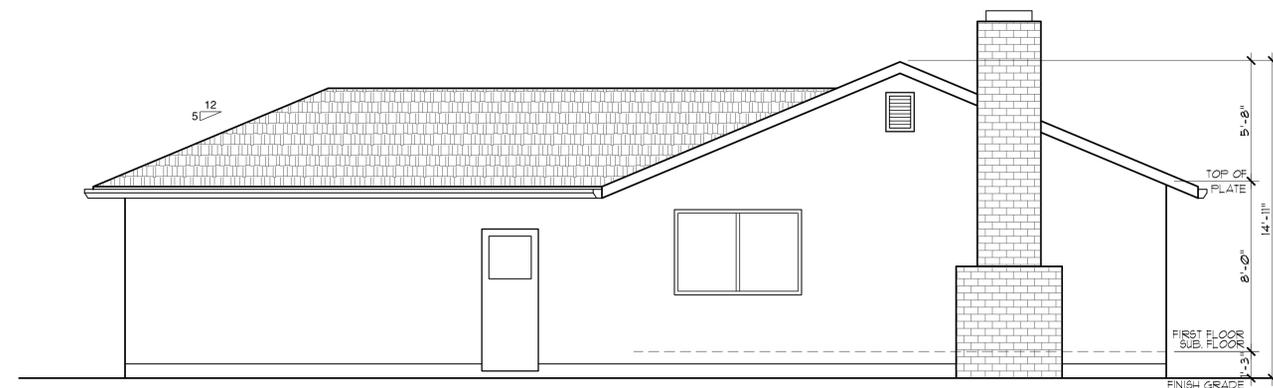
OF 10 SHEETS



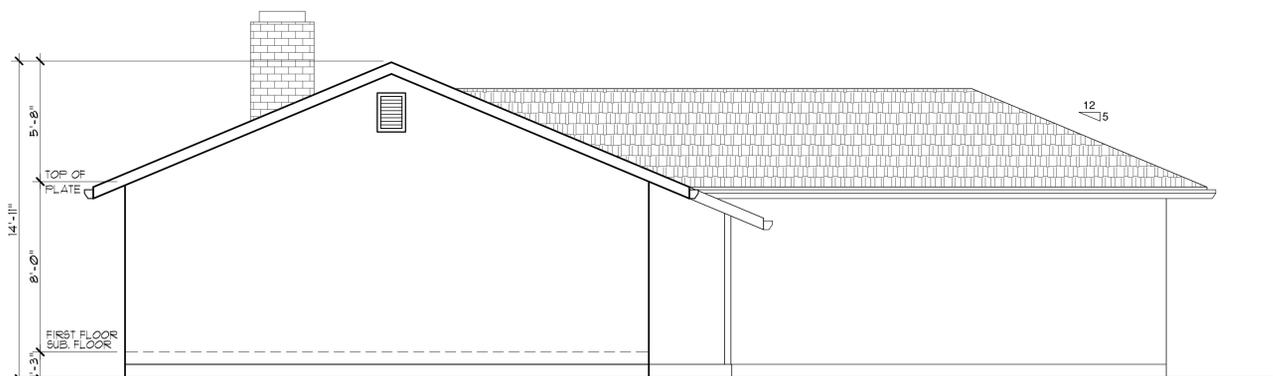
A. EXISTING FRONT ELEVATION



B. EXISTING REAR ELEVATION



C. EXISTING RIGHT ELEVATION



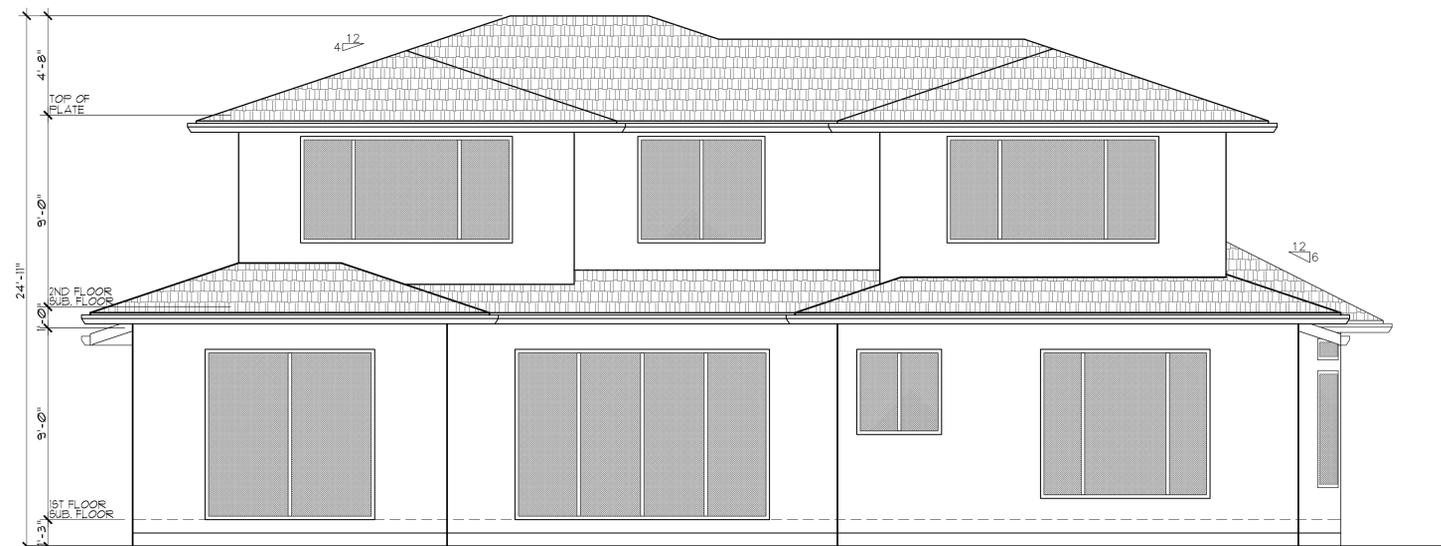
D. EXISTING LEFT ELEVATION



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A. PROPOSED FRONT ELEVATION



B. PROPOSED REAR ELEVATION

VENT CALCULATION IS FOR THE ADDITION AREA ONLY. PROVIDE ADDITIONAL VENTS WHERE THE EXISTING VENTS ARE BLOCKED.

UNDER FLOOR VENTILATION
REQUIRED: 767.04 SI
789 SF / 150" = 5.33 SF X144 = 767.04 SI
PROPOSED: 797.50 SI
VENTS 10 @ 14.5 X 5.5 = 10 X 79.75 = 797.50 SI

ATTIC VENTILATION

REQUIRED: 383.52 SI
799 SF / 300 = 2.66 SF X144 = 383.52 SI
50% TOP = 383.52 X 50% = 191.76 SI
50% BOTTOM = 383.52 X 50% = 191.76 SI

PROPOSED: 442.25 SI
50% TOP:
LOW PROFILE VENTS 5 @ 14.5"X3.5" = 4 X 50.75 = 203.00 SI
50% BOTTOM:
LOW PROFILE VENTS 3 @ 14.5 X 5.5 = 3 X 79.75 = 239.25 SI

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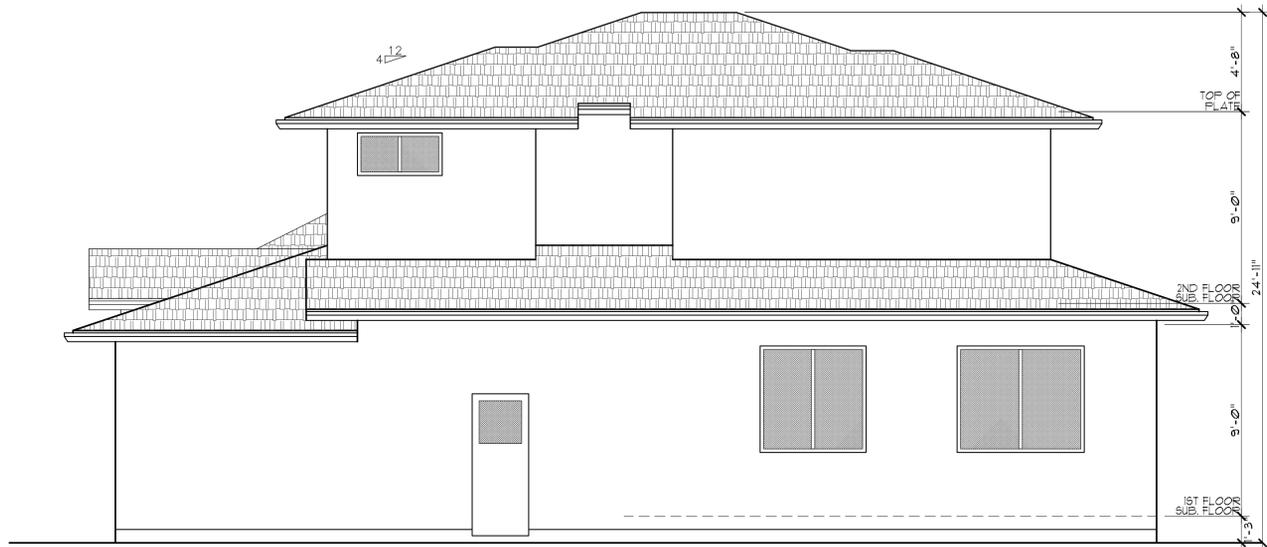
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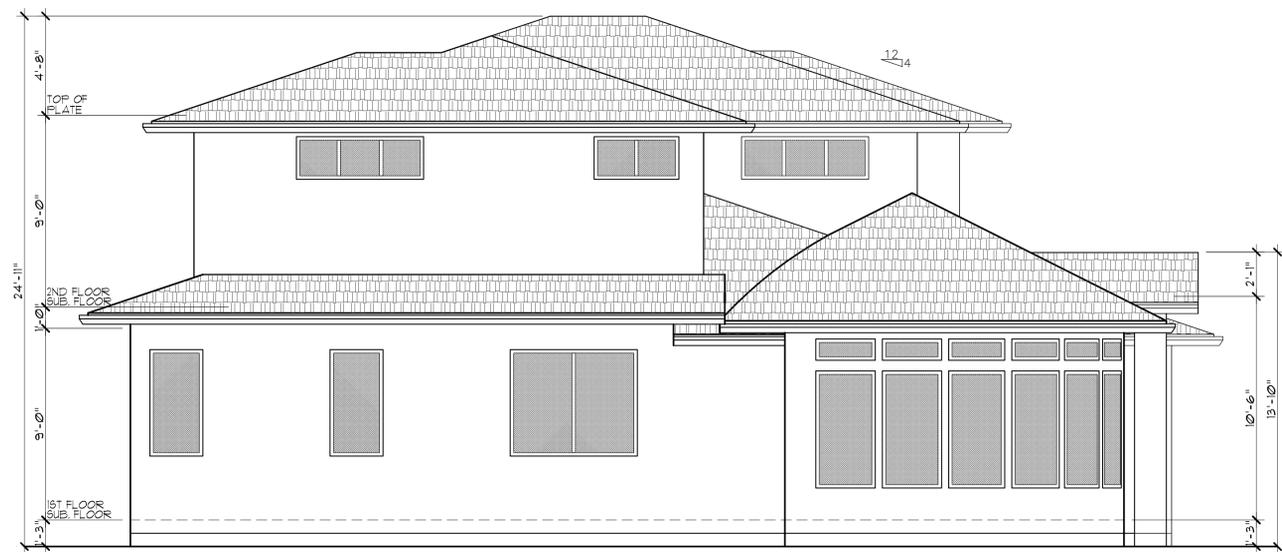
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OF 10 SHEETS



C. PROPOSED RIGHT ELEVATION



D. PROPOSED LEFT ELEVATION