

# City of Santa Clara City Council

**Item 12.B. – 3505 Kifer Road, et al. (SummerHill)**

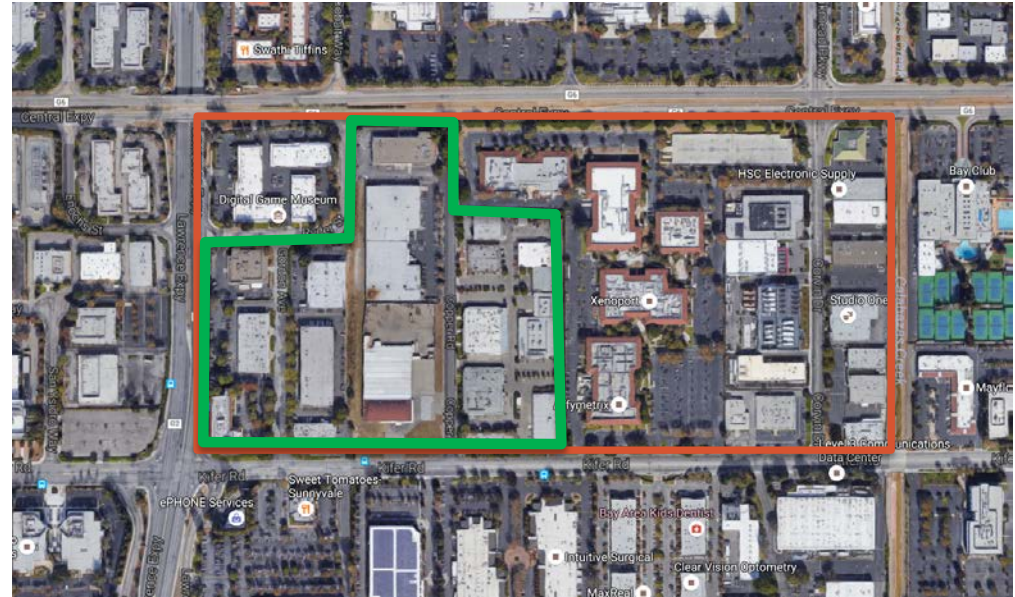
November 29, 2016



**City of  
Santa Clara**  
The Center of What's Possible

# SummerHill LSAP

- Architectural Review
- Vesting Tentative Subdivision Map





# Lawrence Station Area Plan





# SummerHill Housing Project

- 29.4-acre site
- 988 residential units (33.6 du/acre)
- 39,225 sf of retail/amenity space
- 10% of 451 for-sale units to be dedicated as affordable units (Moderate Income for period of 45 years)
  - Additional units mapped as condominiums in the future, 10% of those units will also be dedicated as affordable units (Moderate Income for a period of 45 years)
  - Applicant proposes revised condition



# Site Plan

29.4-acre portion  
of LSAP



# Public Parkland





# Building Architecture

Very High  
Density Product





# Building Architecture

## Retail Store Fronts



1. BLDG. A - ENTRY LOBBY



2. BLDG. B - ENTRY LOBBY



3. BLDG. C - ENTRY LOBBY





# Building Architecture

Medium Density -  
"E-Towns"





# Building Architecture

Medium Density -  
"Townflats" -  
4, 7, 8 unit  
buildings





# Building Architecture

“E-Homes”







# Planning Commission:

- **Approve Architectural Review**
  - Voluntary affordability restrictions for 10% of rental units
  - Increased bike parking
  - Allow increased above the requested 988 units
  - Increase VMT reduction targets and TDM ratios
  
- **Approve Vesting Tentative Map**



# Recommendation:

That the City Council adopt the resolutions to approve the project located at 3505 Kifer Road, et al, subject to conditions:

- Granting Architectural Review approval of the development proposal to construct 988 dwelling units, and 39,225 sf of retail and amenities space.
- Approving the Vesting Tentative Subdivision Map to create 91 buildable lots, 19 non-buildable lots, one private open space lot, 9 public open space lots and 10 private access lots, and for condominium purposes.

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# Entitlements

- The applicant has requested that the Architectural Review for the project be considered by the City Council in conjunction with the LSAP.
- Architectural Review is being considered by the City Council, consistent with the SCCC Section 18.76.020(i).
- Vesting Tentative Subdivision Map to create 91 buildable lots, 19 non-buildable lots, one private open space lot, 9 public open space lots and 10 private access lots, and for condominium purposes.



# Environmental Determination

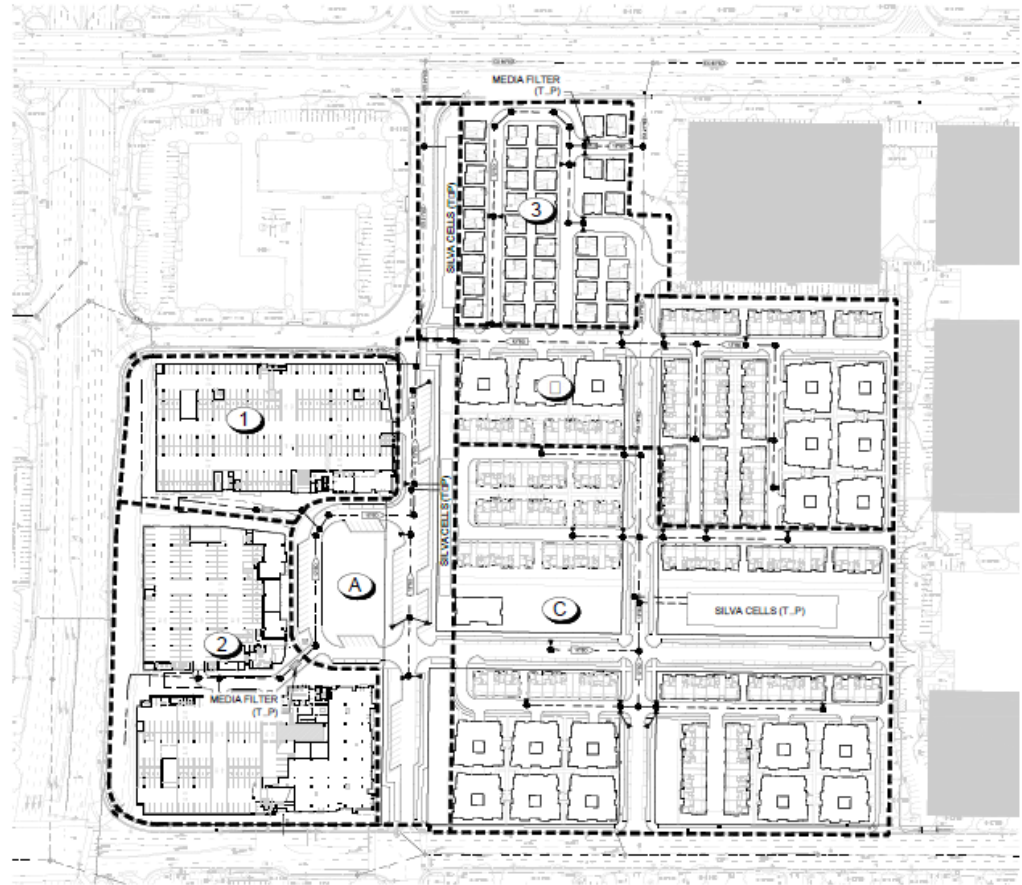
- Environmental Impact Report (EIR) for the LSAP included the proposed development.
- A Mitigation Monitoring and Reporting Program was prepared.
- Significant Unavoidable project-level impacts with regard to air quality and transportation.
- Significant Unavoidable cumulative impacts with regard to air quality, transportation, and utilities.
- All other significant impacts of the project would be mitigated to a less than significant level by the mitigation measures.

# TDM Measures

- TDM coordinator will be responsible for implementation.
- Conforms to the LSAP and Climate Action Plan
- The higher density residential portion of the project must reduce trip travel via a TDM program by 10% and overall VMT by 20%.
- The lower density residential development must reduce trip travel via a TDM program by 5% and overall VTM by 15%.
- Class 1 & 2 Bike Parking is provided according to VTA Bike Technical Guidelines.
- Independently secured garages provided at least on Class 1 Bike Parking.

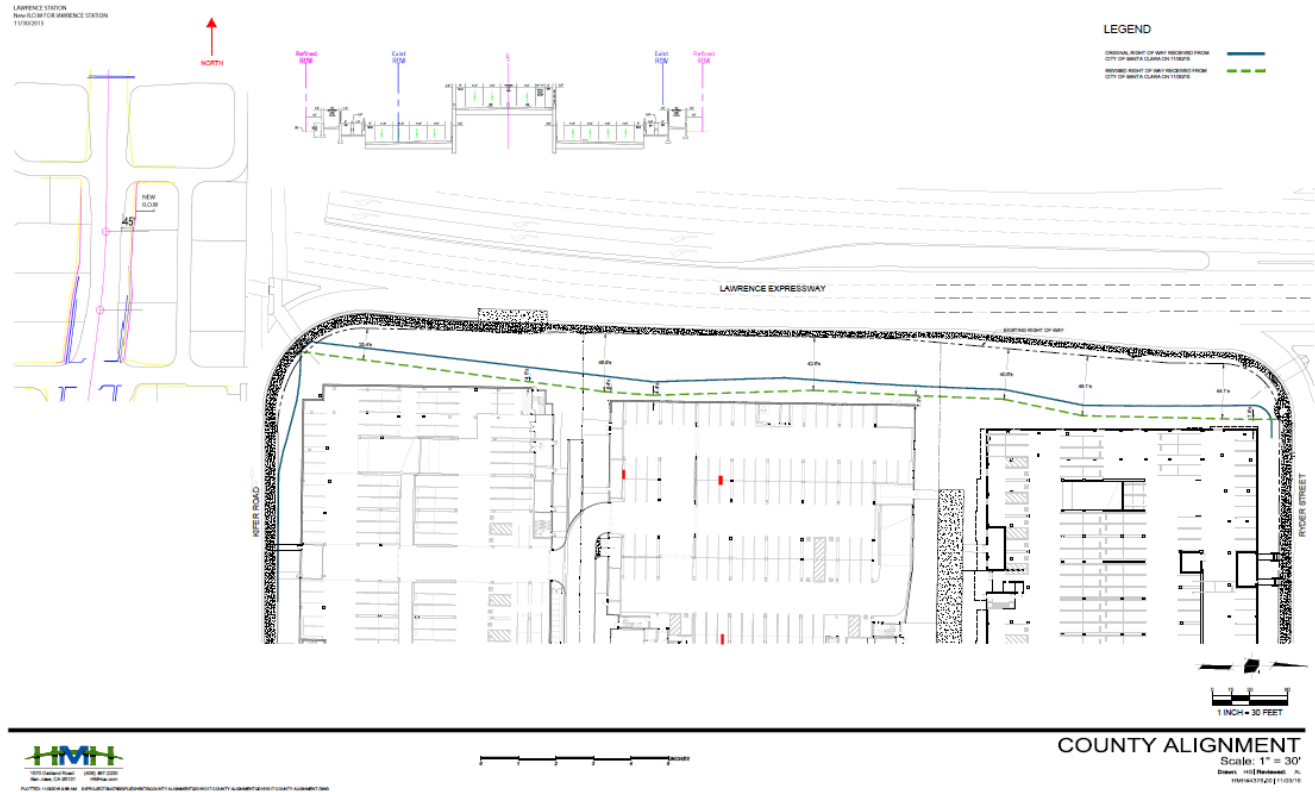
# Stormwater Control Plan

## Silva Cells



# Future Lawrence Expressway

## County Alignment - Eliminate Conflicting Improvements



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**COUNTY ALIGNMENT**  
 Scale: 1" = 30'  
 Date: 10/20/2010  
 10/20/2010