



Accessory Dwelling Units (ADUs) & Junior Accessory Dwelling Units (JADU)

This handout summarizes key Planning requirements for Accessory Dwelling Units (ADUs) / Junior Accessory Dwelling Units (JADUs) and is not intended to be an exhaustive list. If your project does not meet ministerial review criteria, submit a Planning Application with an Application Package with submittal materials as requested in the [Application Checklist](#). See [City of Santa Clara City Code Section 18.60.020: Accessory Dwelling Units](#) for more information.

Ministerial ADU Approval

Type of Use	Allowed ADUs
Single-family Residential Parcels	<ul style="list-style-type: none"> • One detached ADU (new construction or conversion) • One attached ADU (new construction or conversion) • One attached JADU (conversion) • A combination of one detached ADU, one attached JADU, and one converted ADU
Multi-family and Mixed-use Parcels	<ul style="list-style-type: none"> • Maximum two detached ADUs that comply with ADU height and setback standards • At least one attached ADU and additional attached ADUs up to 25 percent of the number of existing dwelling units, provided that any attached ADUs are placed within areas of the structure that are not currently used as livable space, including storage rooms, boiler rooms, passageways, attics, basements, or garages • A combination of the ADUs listed in the bullet points above

Refer to the “Development Standards for Converted ADUs” for the definition of a converted ADU.

ADUs on Historically Designated Properties.

- The City is allowed to regulate parking, height, setbacks, landscape, Architectural Review, maximum unit size on any properties listed in California Register of Historical Resources.
- The addition of an ADU to a property listed in the California Register of Historical Resource requires a Significant Property Alteration (SPA) Permit

Development Standards for All ADUs

Standard	Requirement
Parcel Size	No minimum parcel size is required.
Minimum Floor Area	150 square feet
Parking	No parking required for an ADU or JADU <i>When a garage, carport, or covered parking structure for the single-family residence is demolished in conjunction with the construction of or converted to an ADU or JADU, those off-street parking spaces need not be replaced.</i>

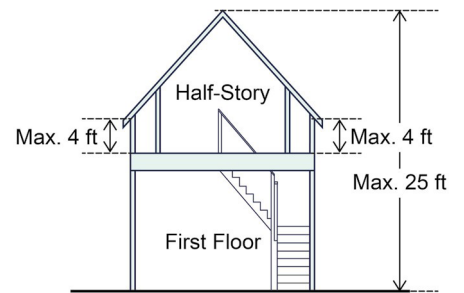
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Standard	Requirement
Sight-Distance	ADUs shall not be located within the sight-distance triangle, at public roadway intersections and private driveways, as determined by the Public Works Department in the TR-9: Visibility Clearance Areas handout and in City of Santa Clara Code Section 18.30.030 – Sight-Distance Triangle .

Accessory Structures cannot be in an easement. Check with Public Works Department if your property has easements at 408-615-3000.

Development Standards for Detached ADUs

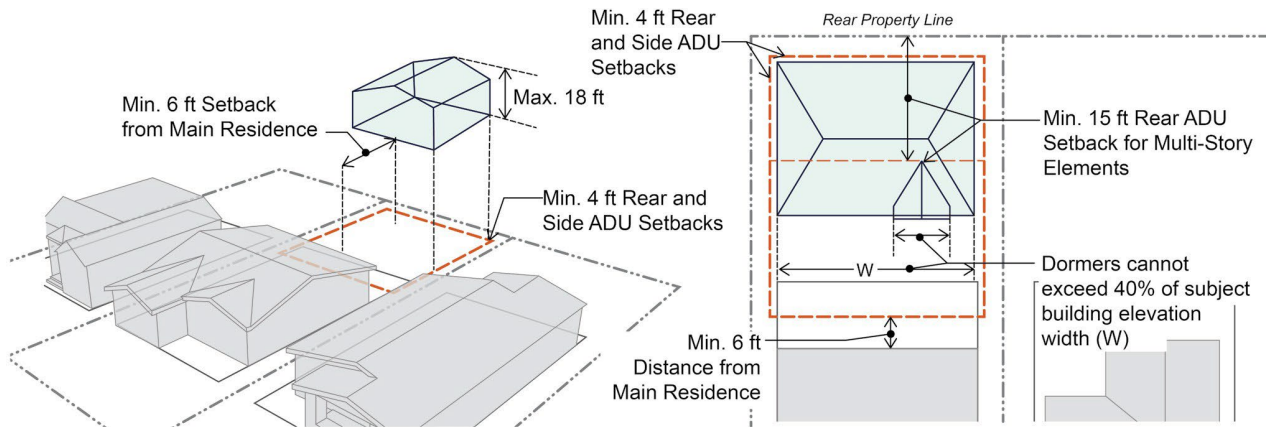
Parcel Size	Unit Size
Parcels less than or equal to 5,500 square feet	Maximum 1,000 square feet
Parcels greater than 5,500 square feet	Maximum 1,200 square feet
Setback Location	Setback Distance
Rear	Minimum 4 feet
Side	Minimum 4 feet
Corner Side	Minimum 4 feet
From Main Residence	Minimum 6 feet
Height Standard	Requirements
Height Limit	Maximum 18 feet for single story Maximum 25 feet for 1.5 stories
Number of Stories	Maximum 1.5 stories



A half-story is a story under a gable, hip, or gambrel roof, the wall planes of which, on at least two opposite exterior walls, are not more than four feet above the floor of each story.

Additional Development Standards for Detached ADUs Greater than One Story and 18 Feet in Height

Standard	Setback
Rear, One-story Elements	Minimum 4 feet
Rear, Multi-story Elements	Minimum 15 feet
Maximum Width for Dormers	40% of the subject building elevation
Egress Windows	Egress windows shall face the primary residence, as opposed to neighboring properties.



Development Standards for Attached ADUs

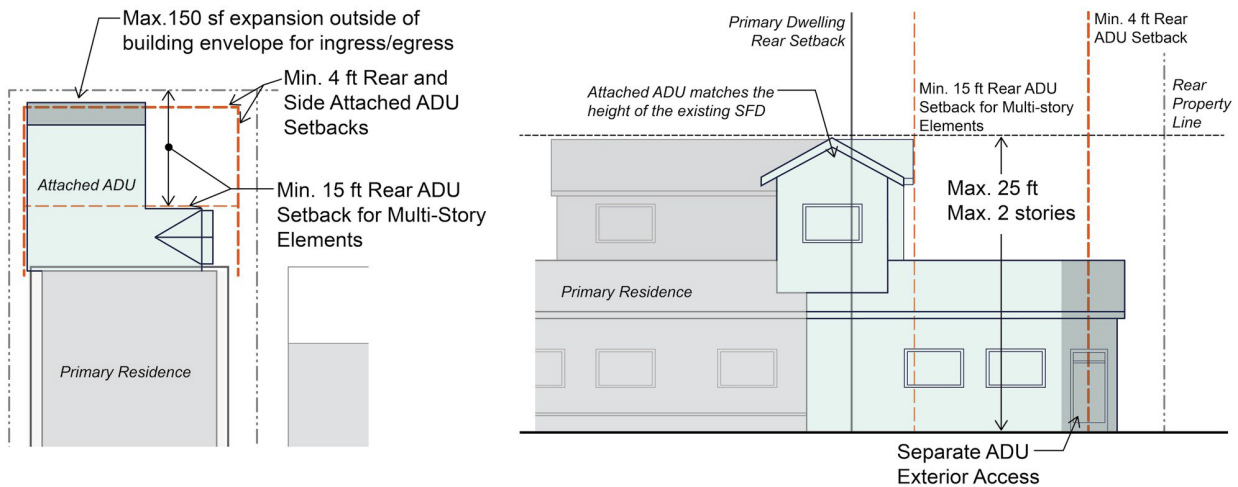
Unit Size	<ul style="list-style-type: none"> • Minimum Floor Area: 150 square feet. • Maximum 1,000 square feet or 50% of the size of the main unit, whichever is less. • At least a minimum of 800 square feet allowed per State law.
Setback	Standard
Front	Meet the setbacks for the subject zone
Side	Minimum 4 feet
Corner Side	Minimum 4 feet
Rear, One-story Elements	Minimum 4 feet
Rear, Multi-story Elements	Minimum 15 feet
Height	Standard
Height Limit	Maximum 25 feet
Number of Stories	Maximum 2 stories
Matched Height	Attached ADUs must match the height of the existing or proposed building or an existing accessory structure.

- Building Envelope shall mean the walls of an existing or proposed single-family dwelling or accessory structure that meet the underlying zoning district development standards.
- Second-story ADUs must match the height of the existing or proposed primary single-family dwelling for ministerial review. Second-story ADUs that do not match the height of the existing or proposed primary single-family dwelling will require Architectural Review.

Additional Development Standards for Attached ADUs within the Building Envelope

- Attached ADU require an exterior access
- Attached ADUs will still qualify as being within the “building envelope” if it includes an expansion of an existing single-family dwelling or accessory structure by up to 150 square feet for purpose of ingress/ egress.
- Such expansion may exceed the underlying zoning (parcel coverage and setbacks).

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Development Standards for Converted ADUs

Definition of Converted ADUs

A converted ADU is an ADU converted from an existing primary dwelling or accessory structure, including but not limited to attached garages, storage areas, or similar uses, or an accessory structure including but not limited to a studio, pool house, or other similar structure.

Unit Size

No maximum unit size. The conversion of an existing accessory structure or a portion of the existing primary dwelling to an accessory dwelling unit is not subject to ADU unit size requirements.

Setbacks

- No setbacks are required for conversions of existing structures (garages or other accessory structure) that are constructed in the same location and to the same dimensions as the existing structure.
- An accessory dwelling unit or a portion of an accessory dwelling unit located within the existing space of an existing dwelling or within an existing detached accessory structure shall not require a setback from the rear, street side, or interior side property lines.

Parking

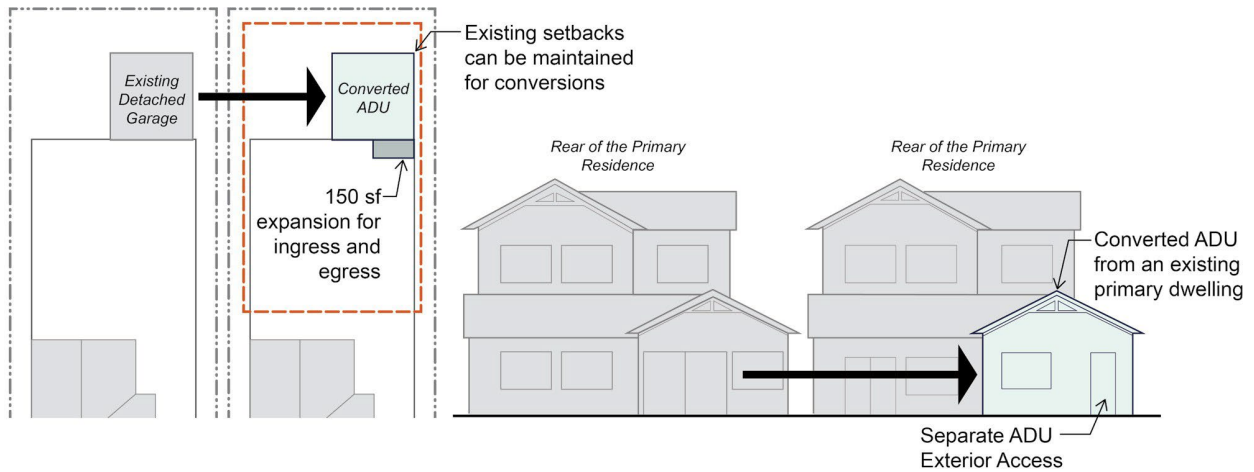
No additional off-street parking is required for the converted accessory dwelling unit.

Limited Expansion

Conversions may include an expansion of not more than 150 square feet beyond the same physical dimensions as the existing structure if the expansion is for the sole purpose of accommodating ingress and egress to the converted structure.

Exterior Access Required

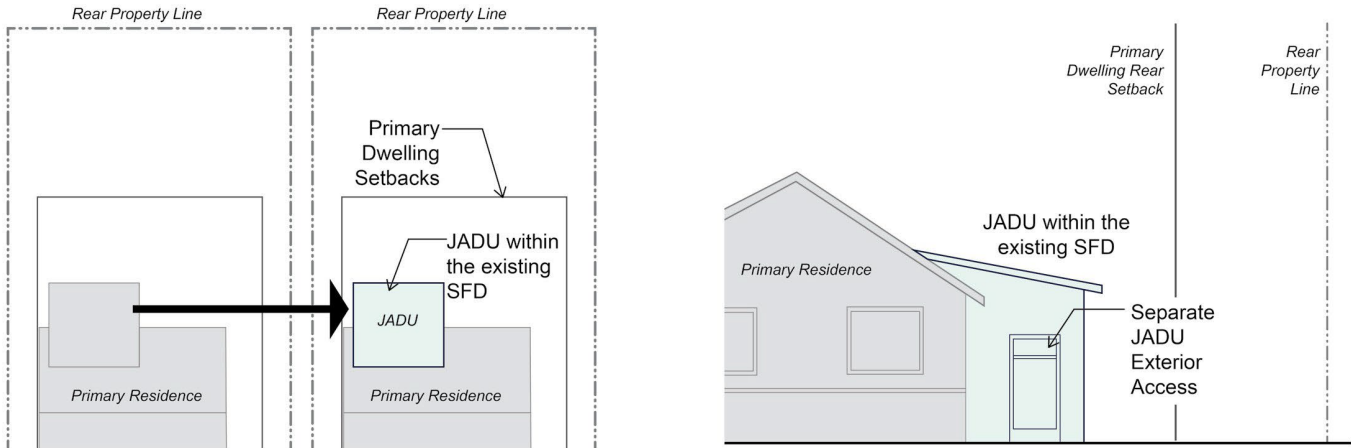
The converted space or structure shall have exterior access.



Development Standards for JADUs

Standard	Requirement
Unit Size	Maximum 500 square feet
Setbacks	Same as the underlying zoning district
Building Envelope	All JADUs must be constructed within the walls of a proposed or existing SFD. The 150-square foot “building envelope” expansion is not available for JADUs.
Within Accessory Structures	JADUs are not permitted in accessory structures.
Height Limit	Same as the existing Single-Family Dwelling unit
Number of Stories	Same as the existing Single-Family Dwelling unit
Efficiency Kitchen	JADUs shall contain an efficiency kitchen (a cooking facility with appliances, a food preparation counter, and storage cabinets).
Bathrooms	JADUs may include separate bathroom facilities or may share bathroom facilities with the main SFD. If a permitted JADU does not include a separate bathroom, the permitted JADU shall include a separate entrance from the main entrance to the structure, with an interior entry to the main living area.
Owner Occupancy	Required when the JADU shares a bathroom with the single-family dwelling; The owner may reside in either the remaining portion of the structure of the newly created JADU.
Short-Term Rentals	JADUs may not be used as short-term rentals (less than 30-days)
Deed Restriction	The recordation of a deed restriction is required to be filed with the permitting agency and shall include: <ul style="list-style-type: none"> • A prohibition on the sale of the JADU separate from the sale of the single-family residence. • A restriction on the size and attributes of the JADU that conforms with this section of the Zoning Code.

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Contact Information

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